

OWNER:
CITY OF OWOSSO
 301 WEST MAIN STREET
 OWOSSO, MI 48867

PROJECT:
CURWOOD CASTLE RESTORATION AND REPAIRS
 226 CURWOOD CASTLE DRIVE
 OWOSSO, MI 48867

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NOTE:
 MINOR ELECTRICAL SCOPE CONTAINED ON ARCHITECTURAL SHEETS

APPLICABLE DATA

APPLICABLE CODES & ORDINANCES
 2021 MICHIGAN REHABILITATION CODE
 FOR EXISTING BUILDING

CATEGORY: REPAIRS

BUILDING CONSTRUCTION TYPE
 VB

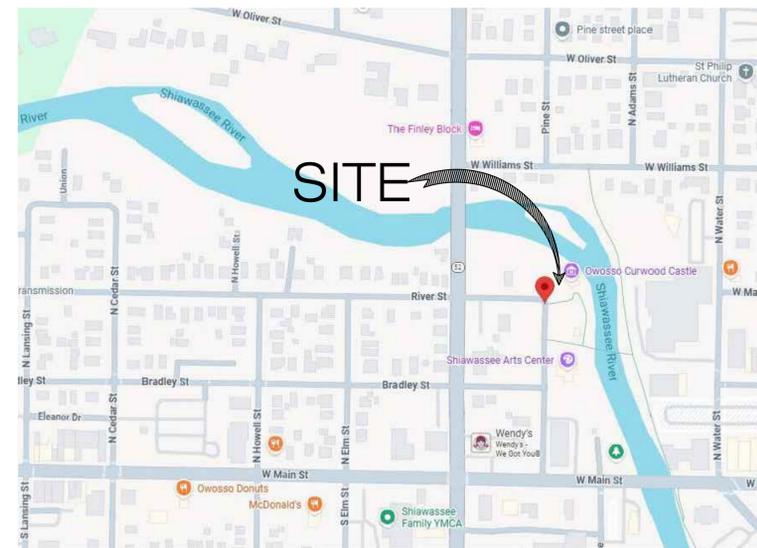
BUILDING AREA
 EXISTING GROSS = (2,235) SF

SCOPE OF WORK:

- REPLACE AREA OF DETERIORATED HISTORIC STUCCO
- REPAIR AREA OF EIFS
- REPAIR GUTTERS, REPLACE GUTTER AND DOWNSPOUT
- ADD GUTTERS AND DOWNSPOUTS
- REPLACE BROKEN OR MISSING SLATE ROOF PIECES
- REPLACE AREA OF SLATE ROOF WHERE INDICATED
- FLASHING WORK
- WINDOW RESTORATION AND RECONSTRUCTION (1)
- PAINTING
- (6) OUTDOOR ELECTRICAL WATERPROOF OUTLETS

PROJECT NOTES

1. THE DRAWINGS ARE INTENDED TO SHOW DESIGN, GENERAL ARRANGEMENT AND EXTENT OF THE WORK AND ARE PARTLY DIAGRAMMATIC. OMISSION OF NOTES OR DETAILS ON ANY DRAWING BUT GIVEN ON ANOTHER DRAWING SHALL NOT BE CAUSE FOR ADDITIONAL CHARGE OR CLAIM.
2. NOTES IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT NOTED IN THE SPECIFICATIONS, IS OF LIKE EFFECT - AS IF SHOWN OR NOTED ON BOTH
3. IN CASES OF INCONSISTENCY, THE BETTER QUALITY OR GREATER QUANTITY SHALL BE PROVIDED
4. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY DESIGN PROFESSIONAL AND OWNER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS ELEMENTS DURING CONSTRUCTION.
6. CONTRACTOR SHALL PREVENT DAMAGE BY WEATHERPROOFING ALL OPENINGS. PROVIDE TEMPORARY PROTECTION FOR ALL COMPONENTS OF THE NEW AND EXISTING BUILDING DURING CONSTRUCTION.
7. REPAIR ANY DISTURBED LANDSCAPING AND LAWN SURFACES DUE TO CONSTRUCTION TRAFFIC.



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NO.	DESCRIPTION	DATE
6		
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3	FOR BIDS	3/6/2026
2	FINAL DOCUMENT	2/16/2026
1	FOR OWNER REVIEW	2/3/2026

PROJECT NO.	25-240
DATE	1/30/2026
DRAWN	CRE
CHECKED	AJM, JSH

SEAL	G001
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SHEET 1 OF 13	

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DIVISION 1 - GENERAL REQUIREMENTS:

THESE DOCUMENTS AS INSTRUMENTS OF SERVICE ARE PROPERTY OF H2A ARCHITECTS INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED WRITTEN CONSENT OF H2A ARCHITECTS EXCEPT AS NECESSARY TO COMPLETE THE WORK HEREIN DESCRIBED FOR A SINGLE USE FOR THIS PROJECT. THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THESE DRAWINGS. IN THE EVENT OF CONFLICT BETWEEN THE INFORMATION ON THE DRAWINGS AND THESE NOTES, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND FIELD CONDITIONS AND NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES.
THE CONTRACTOR SHALL VERIFY CONDITIONS, ALL QUANTITIES, AND EXTENT OF DETERIORATION AND ROT BOTH ON THE SURFACE AND SUB-SURFACE TO VERIFY RELEVANT CONDITIONS BEFORE BEGINNING THE WORK. THE CONTRACTOR SHALL INVESTIGATE THROUGH REMOVALS AND NOTIFY THE DESIGN PROFESSIONAL OF EXISTING CONDITIONS.

CORRELATION AND INTENT OF DRAWINGS:

ANY DRAWING IN WHICH A PORTION OF THE WORK IS DETAILED OR DRAWN OUT AND THE REMAINDER IS SHOWN IN OUTLINE, THE PART DETAILED OR DRAWN OUT WILL ALSO APPLY TO ALL OTHER LIKE PORTIONS OF THE WORK. WHEN THE WORD "SIMILAR" APPEARS ON DRAWING, IT HAS A GENERAL MEANING AND IS NOT TO BE INTERPRETED AS MEANING IDENTICAL, AND ALL DETAILS SHALL BE WORKED OUT IN RELATION TO THEIR LOCATION AND CONNECTION TO THE WORK. IN CASE OF INCONSISTENCY BETWEEN DOCUMENTS THE BETTER QUALITY OR BETTER QUANTITY OF WORK SHALL BE PROVIDED. IN CASE OF ANY DISCREPANCY IN FIGURES OR DRAWINGS, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST TO H2A ARCHITECTS FOR CLARIFICATION OR INTERPRETATION. ANY ADJUSTMENT MADE BY THE CONTRACTOR WITHOUT SUCH A DETERMINATION, WILL BE AT THE CONTRACTORS OWN RISK AND EXPENSE.

PERMITS:

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS.

TEMPORARY CONTROLS:

THE CONTRACTOR SHALL PROVIDE TEMPORARY ENCLOSURE FOR THE WORK TO ENSURE THE BUILDING IS WEATHER TIGHT AT ALL TIMES TO AVOID DAMAGES OR INCIDENTAL DAMAGES. COORDINATE ACCESS WITH DRYING/CURING AND VENTILATING REQUIREMENTS FOR WORK.

JOB CONDITIONS:

DISPOSE OF MATERIALS ON A REGULAR BASIS AT A LANDFILL APPROPRIATE TO THE MATERIALS BEING DISPOSED OF. DISPOSE OF HAZARDOUS, DANGEROUS, OR UNSANITARY WASTE IN A LAWFUL MANNER. KEEP SITE CLEAN AND FREE OF DEBRIS AND REFUSE DAILY. DO NOT BURN OR BURY MATERIALS ON SITE. EMPLOY BEST PRACTICES FOR WATER MANAGEMENT PRACTICES NEAR THE SHAWANEE RIVER THAT IS ADJACENT TO THIS SITE.

DIVISION 2 - REMOVALS:

PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS. PREVENT MOVEMENT OR SETTLEMENT. PROTECT ITEMS TO REMAIN. CONDUCT REMOVALS TO MINIMIZE INTERFERENCE WITH ADJACENT FEATURES AND WITH A MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESS.

DISCONNECT AND REMOVE ITEMS INTERFERING WITH THE UNDERTAKING OF THE WORK. PERFORM REMOVAL OF COMPONENTS AS INDICATED AND IN AN ORDERLY AND CAREFUL MANNER.

CAREFULLY REMOVE WOOD TRIMS INDICATED TO BE REPLACED. WOOD TRIMS AND SILLS MAY BE CUT FOR PARTIAL REPLACEMENTS OR DUTCH-MAN REPLACEMENTS. TAKE ACTIONS TO MINIMIZE DUST AND AIR-BORNE DEBRIS. REMOVE MATERIALS FROM SITE AS WORK PROGRESSES. MAINTAIN WORK AREA IN CLEAN CONDITIONS. DO NOT BURN OR BURY MATERIALS ON SITE. DO NOT ALLOW ANY DISCHARGE OR DEBRIS TO ENTER THE RIVER.

DIVISION 3 - CONCRETE (FOUNDATION PARGING/STUCCO):

PARGING/STUCCO: AREA ADJACENT TO GRADE

ALL WORK SHALL COMPLY WITH THE U.S. SECRETARY OF THE INTERIOR NATIONAL PARK SERVICE, HISTORIC PRESERVATION BRIEFS, BRIEF 22 - THE PRESERVATION AND REPAIR OF HISTORIC STUCCO.

QUALIFICATIONS: PARGING STUCCO REPAIRS SHALL BE PROVIDED BY A QUALIFIED HISTORIC PARGING REPAIR CRAFTSMAN WITH A MINIMUM OF 5 YEARS DEMONSTRATED EXPERIENCE WITH THE TYPE OF WORK DESCRIBED IN THIS SECTION.

PORTIONS OF THE WORK MAY CONTAIN LEAD PAINT. CONTRACTOR SHALL HAVE LEAD SAFE RRP CERTIFICATION. ABATEMENT MAY BE NECESSARY.

PERFORM SOUNDING TESTING TO ALL AREAS IN THE VICINITY OF THE SCOPE OF WORK.

PARGING/STUCCO MATERIALS TO BE COMPATIBLE WITH EXISTING CONDITIONS, SUBSTRATES, AND ADJACENT MATERIALS.

PROVIDE PORTLAND CEMENT, SAND MIX, USE CLEAN POTABLE WATER, MIX MAY INCLUDE HYDRATED LIME OR POLYMER ADDITIVES AT THE DISCRETION OF THE INSTALLER AND THE ARCHITECT. MIX DESIGN: REFER TO DIVISION 9 STUCCO.

REMOVE AND CLEAN UNSTABLE MATERIALS DOWN TO STABLE SUBSTRATES. DO NOT REMOVE BEYOND STABLE MATERIALS.

CLEAN, INSPECT AND FILL ANY CRACKS OR HOLES USING MATERIALS COMPATIBLE WITH THE EXISTING AND NEW MATERIALS.

PRIME OR LIMEWASH THE EFFECTED AREA TO IMPROVE BONDING OF THE PARGING TO THE SURFACE. DAMPEN THE SUBSTRATE SLIGHTLY PRIOR TO APPLICATION.

TROWEL ON EVEN COATS, WORKING DEEPLY INTO ANY IMPERFECTIONS TO ENSURE FULL COVERAGE. PAY SPECIAL ATTENTION TO THE JOINTS, EDGES AND SURFACE TRANSITIONS. PROVIDE FINISH TO MATCH EXISTING. CURE AND PROTECT EACH COAT OF NEW MATERIALS FOR SEVERAL DAYS UNTIL FULLY CURED BEFORE PAINTING.

REFER TO DIVISION 9 STUCCO - PARGING/STUCCO AT THIS BUILDING IS ASSUMED TO BE A CONTINUATION OF THE SAME STUCCO USED ON THE REMAINDER OF THE BUILDING.

DIVISION 5 - WOOD:

ROUGH CARPENTRY

WOOD SPECIES:
BLOCKING:
SOUTHERN PINE (SP)
No. 2 OR BETTER (SPB)

WOOD BLOCKING OR FRAMING WITHIN 8" OF GRADE OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. CONTRACTOR SHALL PROVIDE BLOCKING AS NEEDED FOR ALL ANCHORAGE OF TRIMS, MOLDINGS AND OTHER WOOD TRIM FEATURES. FRONT PORCH STAIR CONSTRUCTION TO MATCH EXISTING, ADDING (1) ADDITIONAL STRINGER.

IF ROTTED FRAMING OR ADDITIONAL FRAMING IS NEEDED, MATCH EXISTING SIZES, PRESSURE TREATED DOUGLAS FIR No. 2 OR BETTER.

BENDING Fb = 900 PSI
MOD OF E = 1,600,000 PSI

FASTENERS PER CODE WITH SIMPSON STRONG TIE OR EQUAL WOOD CONSTRUCTOR CONNECTOR

FINISH CARPENTRY

LUMBER MATERIALS:
ALL WOOD FOR EXTERIOR TRIMS SHALL BE GRADED IN ACCORDANCE WITH WPA 2012, N.L.G.A 2006 ADN WCLIB 102-C GRADING RULES.

WOOD FOR TRIMS, AND MOLDING MATCH EXISTING

WESTERN RED CEDAR, GRADE A

S" SIZE
MAXIMUM MOISTURE CONTENT 19%

MATCH EXISTING SIZES AND SHAPES OF MEMBERS BEING REPLACED. FASTENERS SHALL BE STAINLESS STEEL, APPROPRIATE SIZES AND SHAPES FOR APPLICATION ENSURING ADEQUATE EMBEDMENT.

WOOD ROT REPAIR

DUTCH-MAN AND EPOXY REPAIRS ARE ACCEPTABLE FOR MINOR NON-STRUCTURAL WOOD COMPONENTS. EPOXY SHALL BE SYSTEM 3, WEST SYSTEM, ABATRON, OR ADVANCED REPAIR TECHNOLOGY.

WHERE IDENTIFIED, THE SOFT, DECAYED WOOD MAY BE REMOVED TO THE POINT WHERE STABLE UN-ROTTED WOOD IS REACHED. PRE-TREAT REMAINING STABLE WOOD WITH A SOLUTION OF BORATE. DRY TO LESS THAN 12% MOISTURE CONTENT BEFORE PROCEEDING. AREA WITH 5 CM AROUND THE ROTTED WOOD IS TO HAVE BORATE RODS INSERTED INTO THE STABLE WOOD. STABLE WOOD WILL BE HARDENED WITH CLEAR PENETRATING EPOXY HARDENER ONCE MOISTURE GOALS HAS BEEN ACHIEVED AND BEFORE APPLYING AN EPOXY PATCH. AFTER 24 HOURS OR MANUFACTURERS RECOMMENDATION, FILL THE EFFECTED AREA WITH EPOXY PATCH AND LEVEL THE PATCH.

SAND SMOOTH, LEVEL AND UNNOTICEABLE WITH THE SURROUNDING WOOD.

PRIME AND FINISH ACCORDING TO DIVISION 9, AFTER ACHIEVING MANUFACTURERS RECOMMENDED CURE TIMES.

THE FOLLOWING GUIDELINE WILL BE USED WHEN DUTCH-MAN REPAIRS ARE USED TO REPLACE OR IN CONJUNCTION WITH EPOXY REPAIRS. ALL WOOD MUST BE REMOVED A MINIMUM OF 5 CM BEYOND THE ROTTED WOOD. NEW WOOD MUST MATCH ORIGINAL IN SIZE AND THICKNESS, AND SPECIES (AND USING SALVAGED AGED WOOD FOR WINDOWS).
CROSS-CUTS MUST BE BEVELED AND NOT BUT JOINTED. ALL NEW WOOD MUST BE BACK-PRIMED. CROSS CUTS MUST BE PRIMED PRIOR TO FASTENING.

DIVISION 7 - THERMAL & MOISTURE PROTECTION (SLATE):

ALL WORK SHALL COMPLY WITH THE U.S. SECRETARY OF THE INTERIOR NATIONAL PARK SERVICE, HISTORIC PRESERVATION BRIEFS, BRIEF 4 - ROOFING FOR HISTORIC BUILDINGS AND BRIEF 29 - THE REPAIR, REPLACEMENT AND MAINTENANCE OF HISTORIC SLATE ROOFS.

QUALIFICATIONS: SLATE REPLACEMENT AND REPAIRS SHALL BE PROVIDED BY A QUALIFIED HISTORIC SLATE REPAIR SPECIALIST WITH A MINIMUM OF 5 YEARS' DOCUMENTED EXPERIENCE WITH THE TYPE OF WORK DESCRIBED IN THIS SECTION.

INSPECT ALL SLATE AND FLASHING PRIOR TO START OF WORK.

PROVIDE NEW NATURAL SLATES THAT MATCH EXISTING SIZE AND THICKNESS. 8" X 18", THICKNESS 1/4" TO 3/8", 8" EXPOSURE. MATCH ORIGINAL APPEARANCE AS CLOSELY AS POSSIBLE. VERIFY IN FIELD.

EAVE SLATES SHALL PROJECT MINIMUM 1-1/2" BEYOND FASCIA. RAKE SLATES SHALL PROJECT MINIMUM 1" BEYOND RAKE TRIM.

SLATES SHALL BE ANCHORED WITH STAINLESS STEEL OR COPPER NAILS, INTO MACHINE PUNCHED OR PRE-BORED HOLES. EACH SLATE SHALL HANG FROM TWO NAILS. DO NOT OVER-DRIVE NAILS. NO PNEUMATIC OR ELECTRICAL NAIL GUNS.

PROVIDE MINIMUM DOUBLE LAYER OF #30 FELT, TYPE II, UNDERLAYMENT WITH 4" LAPS OVER WOOD DECK, OR A SINGLE LAYER OF #40 TYPE II FELT.

REPLACE ANY ROTTED ROOF DECKING WITH MATCHING MATERIALS. DO NOT USE PLYWOOD OR PRESERVATIVE TREATED WOOD TO REPLACE WOOD PLANKS.

PROVIDE MINIMUM 16 OZ COPPER FLASHING AND EXTEND A MINIMUM OF 6" UNDER SLATE. ALL FLASHING FASTENERS ARE TO BE GALVANICALLY COMPATIBLE METALS.

RIDGE AND VALLEYS, WHERE INCLUDED IN THE SCOPE OF WORK SHALL BE MINIMUM 16 OZ COPPER. SEAMS TO BE FLAT LOCKED AND SOLDERED. WHERE FULL REMOVAL AND REPLACEMENT OF THE VALLEY IS WITHIN THE SCOPE OF WORK, PROVIDE ICE AND WATER SHIELD EXTENDING A MINIMUM OF 24" UP EACH SIDE OF THE VALLEY.

FOR REPLACEMENT OF INDIVIDUAL SLATE, CUT NAILS AND REMOVE THE DAMAGED SLATE AND INSTALL A NEW PIECE IN ITS PLACE WITH SLATE HOOKS OR, SECURE IT WITH A NAIL SET BETWEEN THE OTHER EXISTING SLATE PIECES ABOVE AND COVER THE NAIL WITH A COPPER TAB (BB), USE COPPER NAILS. IF TWO OR MORE SLATES REQUIRE REPLACEMENT, REPLACE THEM IN A PYRAMID FORM, AND PROVIDE BIB FOR ONLY THE TOP SLATE.

REPLACE FLASHINGS WITH FLASHINGS AND COUNTER FLASHINGS MATCHING EXISTING. WHERE FLASHINGS ARE NON-EXISTENT AND CALLED FOR IN THE SCOPE OF WORK, MATCH OTHER EXISTING FLASHINGS OR PROVIDE AS INDICATED IN THE DRAWINGS. NEW FLASHINGS SHALL BE 16 OZ COPPER.

USE PRECAUTIONS TO PROTECT SLATE DURING THE WORK. CLEAN SLATES USING GENTLEST MEANS POSSIBLE WITH NATURAL BRUSH.

PROVIDE COPPER STARTER CANTS WITH DRIP EDGE. CONFORM TO SMACNA GUIDELINES FOR FLASHINGS.

PROVIDE SEALANTS COMPATIBLE WITH MATERIALS, PROVIDE BACKER RODS WHERE VOIDS ARE PRESENT.

EXPOSED NAIL HEADS ARE NOT ACCEPTABLE EXCEPT WHERE UNAVOIDABLE. APPLY SEALANT.

THE OWNER HAS SOME EXISTING SLATES IN STORAGE THAT MAY BE OF USE FOR INDIVIDUAL SLATE REPLACEMENTS.

PROVIDE MINIMUM 16OZ COPPER GUTTERS AND DOWNSPOUTS. CONFORM TO SMACNA GUIDELINES. FASTENERS TO BE GALVANICALLY COMPATIBLE. PROVIDE HALF ROUND PROFILE WITH ROUND DOWNSPOUT

DIVISION 8 - WINDOWS:

WOOD WINDOW REPAIR AND RECONSTRUCTION:

SASH - RESTORATION
FRAME - RECONSTRUCTION

ALL WORK SHALL COMPLY WITH THE U.S. SECRETARY OF THE INTERIOR NATIONAL PARK SERVICE, HISTORIC PRESERVATION BRIEFS, BRIEF 9 - THE REPAIR OF HISTORIC WOODEN WINDOWS.

QUALIFICATIONS: CONTRACTOR SHALL HAVE AT LEAST 5 YEARS DOCUMENTED EXPERIENCE WITH THE TYPE OF WORK DESCRIBED IN THIS SECTION. WINDOW RESTORATION SHALL BE PROVIDED BY A QUALIFIED WINDOW RESTORATION SPECIALIST.

PORTIONS OF THE WORK MAY REQUIRE PROTOCOLS FOR LEAD PAINT REMOVAL. CONTRACTOR SHALL HAVE LEAD SAFE RRP CERTIFICATION. PORTIONS OF THE WORK MAY CONTAIN ASBESTOS. WINDOW RESTORATION EXPERT SHALL BE QUALIFIED TO PERFORM ASBESTOS ABATEMENT INCLUDING REMOVAL OF GLAZING PUTTY AND REPLACEMENT.

SASH PUTTY TO BE SARCO TYPE M OR EQUAL.

WINDOW PAINT SHALL INCLUDE:

PRIMER: EXTERIOR GRADE ALKYD BASED, FAST DRYING PRIMER, EQUAL TO FRESH START BY BENJAMIN MOORE, OR A-100 SHERWIN WILLIAMS OR EQUAL.

TOPCOAT: APPLY (2) COATS TO ALL PRIMED EXTERIOR AND SEALED OR PAINTED SURFACES. ACRYLIC LATEX EQUAL TO DURATION BY SHERWIN WILLIAMS, AURA BY BENJAMIN MOORE OR EQUAL.

DUTCH-MAN OR OTHER WOOD REPAIRS TO BE OF SIMILAR OR COMPATIBLE SPECIES, OLD GROWTH WOOD, ROT RESISTANT STABLE WOOD MATERIALS SUCH AS ACCOYA MAY BE CONSIDERED AT THE DISCRETION OF THE WOOD RESTORATION SPECIALIST AND THE ARCHITECT.

ACCESSORIES: BOILED LINED OIL, MINERAL SPIRITS BORATE SOLUTION, EPOXY, EPOXY WOOD HARDENER, EXTERIOR LATEX SEALANT SHALL BE PROVIDED AS SELECTED BY THE WOOD RESTORATION SPECIALIST.

SASH TO BE RESTORED; WINDOW EXHIBITS A VARIETY OF CONDITIONS AND LEVELS OF DETERIORATION RANGING FROM DETERIORATED GLAZING PUTTY, DETERIORATED PAINT, DETERIORATION OF THE WOOD INCLUDING IN ISSUES WITH JOINERY, CRACKS CAUSED BY ROT, DAMAGED PORTIONS OF THE WOOD.

SASH SHALL BE REMOVED AND PLASTIC WRAPPED FOR SHOP RESTORATION.

PREPARE BY REMOVING ALL COATINGS.

CRACKS IN WOOD LESS THAN 1/8" X 1/4" CAN BE CLEANED AND PAINTED. CRACKS GREATER TO BE CLEANED, PRETREATED WITH WOOD HARDENER AND EPOXY FILLED.

ROT SHALL BE REMOVED DOWN TO SOLID SUBSTRATE, PRETREATED WITH BORATE AND DRIED BEFORE PATCHING WITH EPOXY OR DUTCH-MAN.

JOINERY SHALL BE RESTORED WERE NEEDED. GLAZING PUTTY REPLACED AND HARDWARE RESTORED OR REPLACED WITH NEW REPLICA HARDWARE.

AFTER WOOD REPAIRS, BEFORE TOP COATING ALL WOOD-TO-WOOD JOINTS SHOULD BE SEALED WITH EXTERIOR LATEX SEALANT.

GLAZING, IF BROKEN DURING THE RE-GLAZING PROCESS, SHALL BE REPLACED WITH CLEAR ANNEALED FLOAT GLASS.

FRAME TO BE RECONSTRUCTED: DOCUMENT FRAME SIZE, CONFIGURATION AND PROFILES PRIOR TO REMOVAL. SALVAGE PORTIONS TO BE USED AS TEMPLATE FOR THE RECONSTRUCTION.

WOOD SPECIES TO INCLUDE MAHOGANY, TEAK, OLD GROWTH WOOD, OR ROT RESISTANT STABLE WOOD MATERIALS SUCH AS ACCOYA MAY BE CONSIDERED AT THE DISCRETION OF THE WOOD RESTORATION SPECIALIST AND THE ARCHITECT.

RECONSTRUCT FRAME: HEAD JAMBS AND SILL TO MATCH ORIGINAL.

BEFORE TOP COATING ALL WOOD-TO-WOOD JOINTS SHOULD BE SEALED WITH EXTERIOR LATEX SEALANT.

REINSTALL IN ORIGINAL OPENING. REMOVAL ANY CALK. PROVIDE NEW SHIMS WHERE MISSING OR DETERIORATED. FLASH WINDOW IN OPENING. PROVIDE EXTENDED HEAD FLASHING WITH DRIP. PROVIDE BACKER ROD AND SEALANT. REFER TO PAINTING FOR INTERIOR FINISHING.

DIVISION 9 - FINISHES:

PLASTER - INTERIOR:

ALL WORK SHALL COMPLY WITH THE U.S. SECRETARY OF THE INTERIOR NATIONAL PARK SERVICE, HISTORIC PRESERVATION BRIEFS, BRIEF 21 - REPAIRING HISTORIC FLAT PLASTER - WALLS AND CEILINGS.

QUALIFICATIONS: PLASTER REPAIRS SHALL BE PROVIDED BY A QUALIFIED HISTORIC PLASTER REPAIR CRAFTSMAN WITH A MINIMUM OF 10 YEARS DEMONSTRATED EXPERIENCE WITH THE TYPE OF WORK DESCRIBED IN THIS SECTION.

PORTIONS OF THE WORK MAY CONTAIN ASBESTOS OR LEAD PAINT. CONTRACTOR SHALL HAVE LEAD SAFE RRP CERTIFICATION. ABATEMENT MAY BE NECESSARY. PLASTER DATES FROM THE 1920S. UTILIZE METHODS AND MATERIALS INTENDED FOR THE PURPOSE OF REPAIRING HISTORIC PLASTER. CONTRACTORS SHOULD ANTICIPATE INTERIOR PLASTER FINISHES APPLIED DIRECTLY TO STRUCTURAL CLAY TILE AND APPLIED TO METAL LATCH ON WOOD STUD.

PLASTER MIX USED WILL BE LEFT TO THE DISCRETION OF THE PLASTER CRAFTSMAN TO BEST MATCH THE EXISTING PLASTER. GYPSUM OR LIME PLASTER. READY-MIXED PLASTER IS ALSO ACCEPTABLE. AGGREGATE SUCH AS PERLITE IS ACCEPTABLE FOR THE SCRATCH AND BROWN COATS.

GYPSUM PLASTER: ASTM C28

GYPSUM MOLDING PLASTER: ASTM C99

BONDING AGENTS: PLASTERWELD BY LARSEN PRODUCTS OR ACRYL-60 AS MANUFACTURED BY TORO SYSTEMS OR EQUAL.

SPECIAL FINISHING HYDRATED LIME: ASTM C20.

LIME PUTTY: SPECIAL FINISHING HYDRATED LIME MACHINE MIXED WITH WATER TO PUTTY CONSISTENCY. ALLOW TO STAND BEFORE USING.

NONSTAINING, ALKALI RESISTANT SYNTHETIC, VEGETABLE OR MINERAL PRODUCT NOT MORE THAN 2 INCHES LONG. CLEAN AND FREE FROM FOREIGN MATERIAL. NATURAL OR MANUFACTURED SAND COMPLYING WITH ASTM C35.

PLASTER OF PARIS: ASTM C28.

CRACK FILL AND JOINT COMPOUND: DURABOND SETTING TYPE GYPSUM JOINT COMPOUND AS MANUFACTURED BY USG OR EQUAL.

ACCESSORIES: PROVIDE EXPANDED GALVANIZED DIAMOND METAL LATH WHERE EXISTING IS DETERIORATED EITHER AS REPLACEMENT OR SUPPLEMENT TO THE EXISTING DEPENDING ON CONDITIONS FOUND. ATTACH WITH STAINLESS STEEL SCREWS LONG ENOUGH TO PENETRATE SUBSTRATE AT LEAST 1 INCH WITH HEADS LARGE ENOUGH TO SECURELY ENGAGE THE LATH. ACCESSORIES INCLUDING BUT NOT LIMITED TO PLASTER WASHERS, CORNER BEADS OR OTHER ACCESSORIES AS NEEDED FOR A COMPLETE SYSTEM.

CRACKS TO BE REPAIRED SHALL BE WIDENED SLIGHTLY WITH A SHARP POINTED TOOL PRIOR TO FILLING.

CRACKS NOTED FOR INSTALLATION OF A CRACK-MONITOR. PROVIDE AND INSTALL A CRACK MONITOR CONSISTING OF TWO OVERLAPPING PLATES, WITH A CALIBRATED BOTTOM PLATE IN MILLIMETERS AND A TRANSPARENT TOP PLATE MARKED WITH A CROSSHAIR CURSOR FOR ACCURATE CRACK MEASUREMENT. INSTALLATION IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

PLASTER AREAS THAT ARE IDENTIFIED ON THE DRAWINGS THAT ARE DETERIORATED INCLUDING DELAMINATION, EFFLORESCENCE AND DETERIORATING. PREPARE AREAS BY CAREFUL REMOVAL OF ALL LOOSE AND DAMAGED PLASTER MATERIALS, BEING CAUTIOUS NOT TO REMOVE STABLE MATERIALS. CUT EDGES OF EACH PLASTER COAT IN A STEPPED PATTERN AND INWARD TOWARD THE SUBSTRATE SO THAT EACH NEW PLASTER COAT WILL LAP OVER THE LOWER LAYERS AND CREATE A MECHANICAL KEY. REEFLECE, SUPPLEMENT OR RESECURE METAL LATH WHERE PRESENT.

APPLY BONDING AGENT OVER THE AREA TO BE REPAIRED. APPLY THREE COATS (OR NUMBER OF COATS ENCOUNTERED IN REMOVAL) OF PLASTER LAPPING EACH NEW LAYER OVER THE OLD PLASTER. SAND SURFACES AND WIPE WITH DAMP CLOTH.

WHERE PLASTER ABUTS METAL WINDOWS, GROOVE FINISH COAT TO ELIMINATE SPALLING. ALLOW THE PATCH TO FULLY DRY 3-4 WEEKS BEFORE PAINTING. PROVIDE AN ALKALINE-RESISTANT PRIMER OVER THE AREA PRIOR TO PAINTING.

STUCCO - EXTERIOR:

ALL WORK SHALL COMPLY WITH THE U.S. SECRETARY OF THE INTERIOR NATIONAL PARK SERVICE, HISTORIC PRESERVATION BRIEFS, BRIEF 22 - THE PRESERVATION AND REPAIR OF HISTORIC STUCCO.

QUALIFICATIONS: STUCCO REPAIRS SHALL BE PROVIDED BY A QUALIFIED HISTORIC STUCCO REPAIR CRAFTSMAN WITH A MINIMUM OF 10 YEARS DEMONSTRATED EXPERIENCE WITH THE TYPE OF WORK DESCRIBED IN THIS SECTION.

PORTIONS OF THE WORK MAY CONTAIN LEAD PAINT. CONTRACTOR SHALL HAVE LEAD SAFE RRP CERTIFICATION. ABATEMENT MAY BE NECESSARY.

PERFORM SOUNDING TESTING TO ALL AREAS IN THE VICINITY OF THE SCOPE OF WORK.

STUCCO REPLACEMENT MATERIAL SHALL CONSIST OF 1 PART PORTLAND CEMENT, 2 PARTS NON-HYDRAULIC HYDRATED LIME AND 8 PARTS OF SAND.

PROVIDE A JOB SITE MOCK-UP FOR APPROVAL. MOCK-UP SHALL BE BY QUALIFIED CRAFTSPERSON WITH KNOWLEDGE OF CURING AND APPLICATION OF TRADITIONAL HISTORIC STUCCO. PROVIDE AND PROTECT THE SAMPLE A MINIMUM OF 14 DAYS PRIOR TO REVIEW OF APPROVAL.

MIX CLASSIFICATIONS SHALL BE TYPE O' ASTM C270. PORTLAND CEMENT SHOULD BE GRAY IN COLOR AND MEET ASTM C150. THE NON-HYDRAULIC HYDRATED LIME TO MEET TYPE S ASTM C7; SAND TO MATCH THE EXISTING SAND AS CLOSELY AS POSSIBLE IN TERMS OF COLOR, SIZE, SHAPE AND GRADATION. REFER TO CUSTOM MORTAR MATCHING REPORT PROVIDED IN THE PROJECT SPECIFICATION MANUAL.

REPAIR AREAS OF VISUAL STRESS AND FAILURE, CRACKS, SPALLS, ETC. AS INDICATED ON DRAWINGS AND AS IDENTIFIED IN THE SOUNDING TESTING.

WHERE INDICATED ON THE DRAWINGS, REMOVE STUCCO IN ITS ENTIRETY. OBSERVE CONDITIONS OF THE SUBSTRATE AND REPLACE ANY ROTTED OR DETERIORATED MATERIALS, WHERE METAL LATH IS PRESENT AND DETERIORATED, PROVIDE ADDITIONAL MODERN EXPANDED METAL LATH MANUFACTURED FOR USE WITH EXTERIOR STUCCO.

NUMBER AND THICKNESS OF STUCCO COATS SHALL MATCH ORIGINAL. IF ORIGINAL NUMBER OF COATS IS UNCLEAR PROVIDE 3 COAT SYSTEM. MOISTEN THE SURFACE WITH WATER BEFORE APPLYING THE TOPCOAT. FINISH COAT SHALL BE WORKED TO MATCH THE EXISTING FINISH.

POLYMERS ADMIXTURES MAY BE CONSIDERED BY THE STUCCO CRAFTSMAN AND THE ARCHITECT WHERE THE CONDITIONS OF THE INSTALLATION MAY BENEFIT FROM ADDED FLEXIBILITY.

SQUARE THE AREAS TO BE PATCHED AND REPAIRED WITH COLD CHISEL, DIAMOND BLADE SAW, OR MASONRY BIT. CLEAN THE AREA PROPERLY PRIOR TO PATCHING.

SUBSTRATES EXPECTED INCLUDE STRUCTURAL CLAY TILE (ALSO KNOWN AS SPEED TILE) AND WOOD STUD FRAMING OFTEN AT CURVED PORTIONS OF THE BUILDING ENVELOPE. WHERE SUBSTRATE IS MASONRY, WET MASONRY PRIOR TO ENSURE BOND.

CARE SHALL BE TAKEN TO AVOID THE STUCCO DRYING TOO FAST. IN HOT WEATHER KEEP DAMP FOR THE FIRST 48 - 72 HOURS. DO NOT UNDERTAKE THE WORK WHEN WEATHER IS EXPECTED TO DROP BELOW 50 DEGREES F. WORK SHALL NOT BE UNDERTAKEN IN FULL SUN AT TEMPERATURES ABOVE 80 DEGREES F WITHOUT SHADING PROVIDED. NO WORK SHALL BE UNDERTAKEN WHEN TEMPERATURE IS ABOVE 100 DEGREES F.

AFTER COMPLETION AND STUCCO IS THOROUGHLY SET AND CURED, PRIOR TO PAINTING, CLEAN NEW SURFACES. REMOVE ANY ADJACENT LOOSE OR PEELING PAINT BY HAND SCRAPING OR NATURAL BRISTLE BRUSH. WASH WALLS WITH LOW PRESSURE WATER SUCH AS GARDEN HOSE.

DO NOT UNDERTAKE PAINTING UNTIL MATERIAL IS FULLY CURED 30 - 60 DAYS OR AS RECOMMENDED BY PAINT AND STUCCO MANUFACTURERS.

EXTERIOR INSULATION FINISH SYSTEM:

MODERN EIFS IS FOUND ON THE NORTH-WEST TURRET. PROVIDE THE FOLLOWING REPAIR PROCEDURES AT DAMAGES.

USE PRODUCTS COMPATIBLE WITH THE EXISTING MATERIALS. MAKE REPAIRS IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

CUT AROUND THE DAMAGED AREA WITH A RAZOR KNIFE. CUT THROUGH ALL LAYERS DOWN TO THE SUBSTRATE. MAKE SURE THE PATCH AREA IS LARGE ENOUGH TO EASILY WORK IN (EVEN IF THE DAMAGED AREA IS SMALL). CAREFULLY REMOVE THE EIFS AND REMOVE ANY DAMAGED EPS. INSPECT THE WATER-RESISTIVE BARRIER AND REPAIR IF NEEDED WITH COMPATIBLE MATERIALS.

PREPARE FOR PATCH-WORK BY USING A HAND-HELD GRINDER TO REMOVE THE FINISH SURROUNDING THE REMOVED EIFS AREA (DO NOT GRID INTO THE REINFORCING MESH). GRIND THE SURROUNDING AREA AT LEAST 3" LARGER THAN THE HOLE TO BE PATCHED. REMOVE ALL DEBRIS AND COMPLETE PREP IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

IF EPS WAS REMOVED, CUT NEW EPS TO FIT TIGHTLY INTO THE VOID. APPLY BASE COAT TO THE EPS BEFORE INSTALLING IT IN THE VOID AND PRESSING IT INTO PLACE. ALLOW TO DRY. IF THERE ARE GAPS BETWEEN THE NEW AND OLD EPS, FILL WITH EPS SHIMS. SAND OR RASP THE SURFACE OF THE EPS TO BE LEVEL AND FLUSH WITH THE EXISTING ADJACENT EPS.

MASK THE SURFACE AROUND THE REPAIR AREA. CUT AND INSTALL REINFORCING MESH, ALLOWING AT LEAST 1" OVERLAPS ONTO THE EXISTING BASE COAT AND MESH THAT HAS BEEN EXPOSED ADJACENT TO THE PATCH. ENSURE THAT FRESH BASE COAT AND MESH IS LEVEL AND FLUSH WITH EXISTING. ALLOW TO DRY.

APPLY COLOR AND TEXT FINISH COAT. FLOAT THE FINISH TO MATCH EXISTING FINISH.

REMOVE THE MASKING TAPE BEFORE THE FINISH DRIES AND USE A BRUSH TO BLEND THE WET EDGE INTO THE EXISTING FINISH AND ALLOW TO DRY.

CLEAN IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

PAINTING:

QUALIFICATIONS: CONTRACTOR SHALL HAVE AT LEAST 5 YEARS DOCUMENTED EXPERIENCE WITH THE TYPE OF WORK DESCRIBED IN THIS SECTION.

PORTIONS OF THE WORK MAY REQUIRE PROTOCOLS FOR LEAD PAINT REMOVAL. CONTRACTOR SHALL HAVE LEAD SAFE RRP CERTIFICATION. PAINTER SHALL BE QUALIFIED TO WORK WITH LEAD PAINT SUBSTRATES, REMOVALS AND ENCAPSULATIONS.

ALL PAINTING SHALL CONFORM TO ASTM D16 STANDARD TERMINOLOGY FOR PAI. RELATED COATINGS, MATERIALS AND APPLICATIONS.

SHEENS SHALL MATCH EXISTING.

EXTERIOR PAINT:

WHERE PRESENT AND APPLICABLE IN THE SCOPE OF WORK

METAL PREP:

CLEAN AND PREP SURFACE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. METALS SHALL BE CLEANED WITH RUST REMOVER TO COMPLY WITH SSPC-SP3 AND SSPC-PA2.

PAINTING WOOD:

WOOD BARE: AFTER SCRAPING, SPOT PRIME ALL BARE WOOD WITH COVER STAIN OIL PRIMER BY ZINSSER OR EQUAL.

WOOD GENERAL: PRIME ALL AFFECTED PAINTED SURFACES WITH 1 COAT OF PRIMER AND PAINT ALL SURFACES WITH (2) COATS OF AURA-EXTERIOR ACRYLIC (LOW LUSTER) BY BENJAMIN MOORE. DURATION BY SHERWIN WILLIAMS OR EQUAL APPROVED PRODUCT.

PAINTING STUCCO AND PARGING:

STUCCO AND PARGING BARE: AFTER PRODUCT HAS FULLY CURED, APPLY AN ALKALINE-RESISTANT PRIMER OVER THE AREA TO BE PAINTED.

STUCCO AND PARGING GENERAL: EXISTING STUCCO IS PAINTED WITH DOWSIL ALLGUARD SILICONE ELASTOMERIC COATING. PREPARE THE AFFECTED SURFACES TO BE PAINTED FOLLOWING MANUFACTURER RECOMMENDATIONS. APPLY (2) COATS OF DOWSIL ALLGUARD SILICONE ELASTOMERIC COATING TO ALL AFFECTED STUCCO SURFACES.

PAINTING WINDOWS:

WINDOWS WOOD EXTERIOR: RESTORED WINDOW TO BE PAINTED UNDER DIVISON 8-WINDOWS SPECIFICATION. REMAINDER OF WOOD WINDOWS SIMILAR EXCEPT OMIT PRIMER EXCEPT AT BARE WOOD.

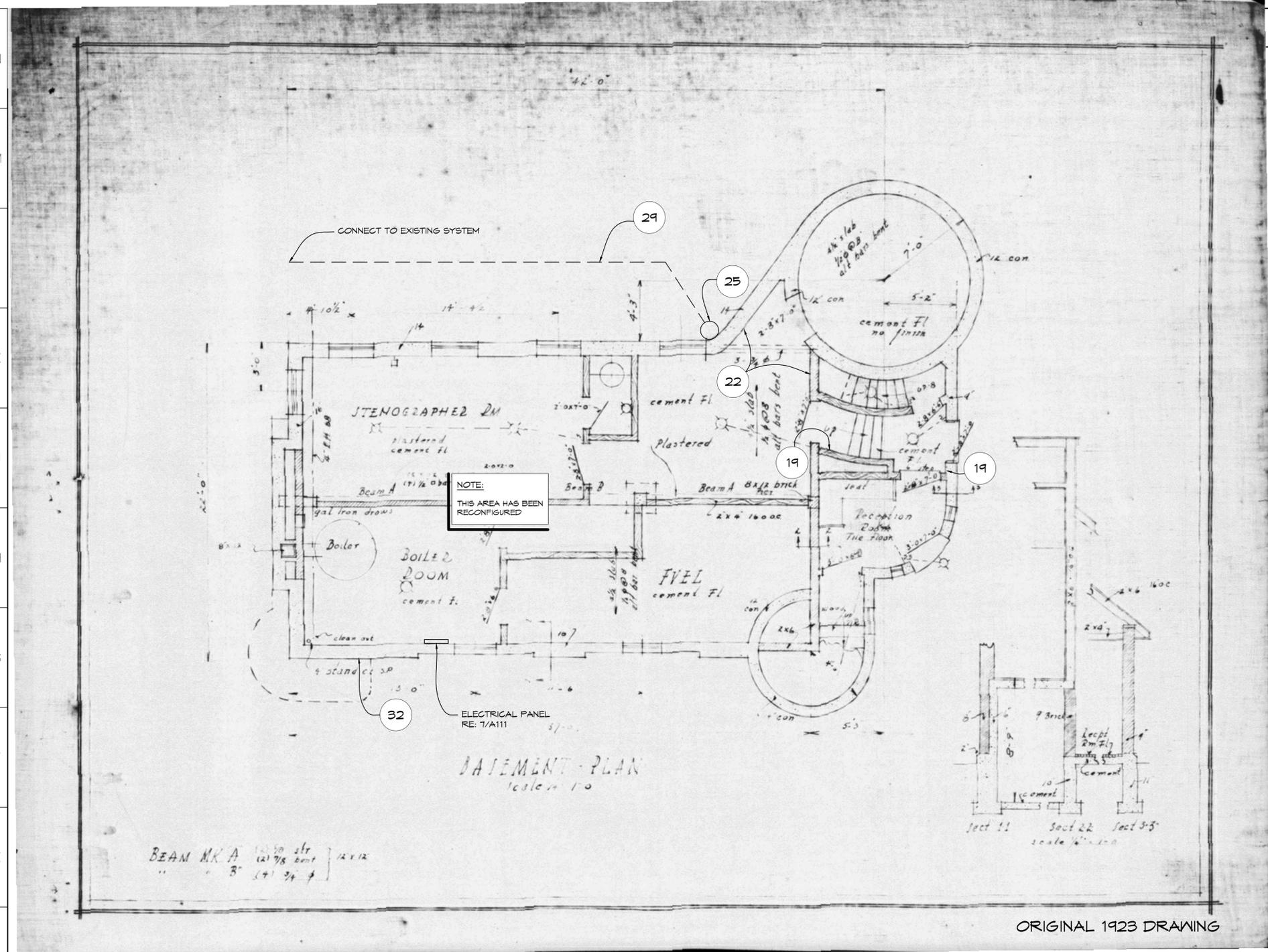
WINDOWS METAL EXTERIOR:

WINDOWS METAL EXTERIOR BARE: (1) COAT RUST PROHIBITIVE ACRYLIC PRIMER EQUAL TO: SW PROCRYL UNIVERSAL. METAL PRIMER, 866 SERIES.

WINDOWS METAL EXTERIOR GENERAL: (2) COATS OF ACRYLIC LATEX ENAMEL, EQUAL TO SW SHER-CRYL HPA.

INTERIOR PAINT:

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 PLOT DATE: 2/16/2026 4:21 PM



ORIGINAL 1923 DRAWING

A101 BASEMENT PLAN
 1/4" = 1'-0"

NOTE:
 REFER TO ELEVATIONS FOR ADDITIONAL SCOPES OF WORK INVOLVING EXTERIOR

KEY NOTES

- 19. PATCH AND REPAIR CRACKS IN PLASTER
- 22. DIAGONAL PLASTER CRACKS - INSTALL CRACK MONITOR
- 25. NEW DOWNSPOUT
- 29. EXTEND UNDERGROUND DOWNSPOUT RECEPTOR SYSTEM TO INCLUDE NEW DOWNSPOUT
- 32. LOCATION OF EXISTING OUTDOOR ELECTRICAL WEATHERPROOF RECEPTACLE, EXISTING TO REMAIN



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GENERAL NOTES

1. UTILITY INFORMATION : TO BE PROVIDED BY OWNER
2. CONTACT "MISS DIG" AT 1-800-482-1111, PRIOR TO EXCAVATION.
3. THE CONTRACTOR SHALL COMPLY WITH ALL RULES, REGULATIONS, AND REQUIREMENTS OF THE STATE OF MICHIGAN "SOIL EROSION AND SEDIMENTATION CONTROL ACT, NO. 341; PUBLIC ACTS OF 1912 AS PART 91 OF ACT 191, PUBLIC ACTS OF 1974." REFER TO SITE PLAN FOR SOIL EROSION CONTROL MEASURES.
4. REPAIR ANY DISTURBED LANDSCAPING AND LAWN SURFACES DUE TO NEW CONSTRUCTION.
5. PREPARE FOR NEW WORK BY REMOVING EXISTING SURFACE FINISHES, AS NECESSARY TO PROVIDE FOR PROPER INSTALLATION OF NEW WORK AND NEW FINISHES.
6. FIT WORK TIGHT TO ADJACENT ELEMENTS. MAINTAIN INTEGRITY OF WALL, CEILING, OR FLOOR CONSTRUCTION. COMPLETELY SEAL VOIDS.
7. WHERE REMOVAL OF AN ELEMENT RESULTS IN ADJACENT SPACES BECOMING ONE, RENOVOR FLOORS, WALLS AND CEILINGS TO CREATE A SMOOTH PLANE WITHOUT BREAKS, STEPS OR BULKHEADS.
8. WHERE NEW WORK ABUTS OR ALIGNS WITH EXISTING, MAKE A SMOOTH AND EVEN TRANSITION. PATCH WORK SHALL MATCH EXISTING ADJACENT WORK IN TEXTURE AND APPEARANCE. WHERE FINISH SURFACES ARE CUT SO THAT A SMOOTH TRANSITION WITH NEW WORK IS NOT POSSIBLE, TERMINATE EXISTING SURFACE ALONG A STRAIGHT LINE AT NATURAL LINE OF DIVISION.

NO.	DESCRIPTION	DATE
6		
5		
4		
3	FOR BIDS	3/6/2026
2	FINAL DOCUMENT	2/16/2026
1	FOR OWNER REVIEW	2/3/2026

CURWOOD CASTLE RESTORATION AND REPAIRS

CURWOOD CASTLE
 226 Curwood Castle Drive
 Owosso, MI 48867

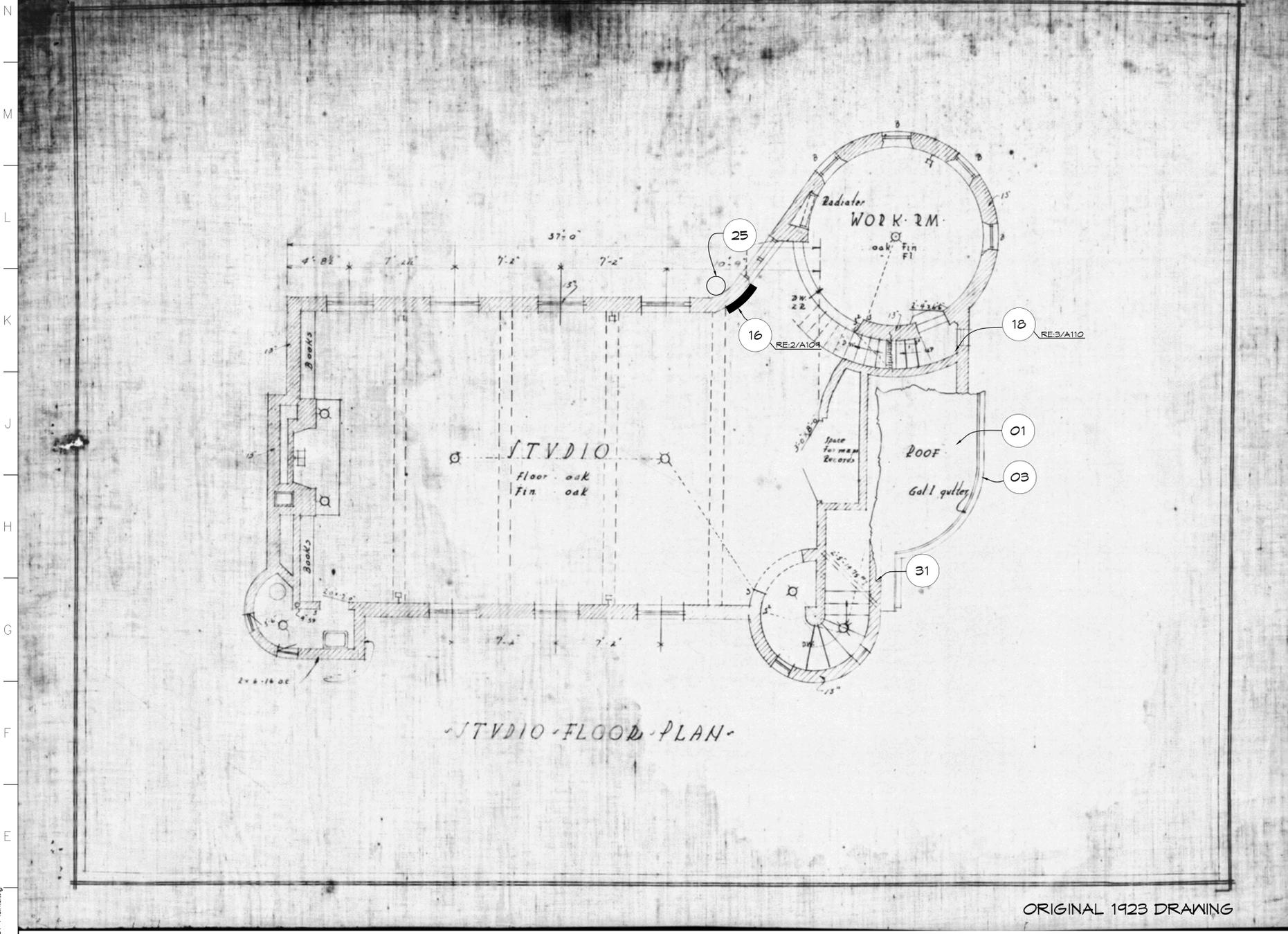
DRAWING TITLE
BASEMENT FLOOR PLAN

PROJECT NO. 25-240
 DATE 2/6/2026
 DRAWN CRE
 CHECKED AJN, JSH

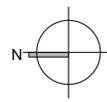
A101

CAD FILE NO.
 SCALE 1/4" = 1'-0" SHEET 3 OF 13

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 PLOT DATE: 2/16/2026 4:28 PM



ORIGINAL 1923 DRAWING


A102 | STUDIO FLOOR PLAN
 MAIN LEVEL
 1/4" = 1'-0"

NOTE:
 REFER TO ELEVATIONS FOR
 ADDITIONAL SCOPES OF WORK
 INVOLVING EXTERIOR

KEY NOTES

1. REPLACE INDIVIDUAL MISSING OR DAMAGED SLATES
3. REPLACE COPPER GUTTER
16. REMOVE AND REPLACE DETERIORATED PLASTER BACK TO STABLE MATERIAL - MASONRY WALL
18. PATCH AND REPAIR CRACKED/LOOSE PLASTER
25. NEW DOWNSPOUT
31. PROVIDE 20A 125V OUTDOOR WEATHER PROOF RECEPTACLE WITH WHILE IN USE BOX COVER BY (LEGRAND, HUBBELL) OR EQUAL. RECEPTACLE SHALL BE INSTALLED IN A SURFACE WEATHER PROOF SINGLE GANG BOX. NEW RECEPTACLE SHALL BE CONNECTED DOWN TO EXISTING PANEL IN 1/2" RIGID CONDUIT. RUN 2#12#12 GND. UPDATE PANEL SCHEDULE. REFER TO SOUTH ELEVATION - A105



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GENERAL NOTES

1. PREPARE FOR NEW WORK BY REMOVING EXISTING SURFACE FINISHES, AS NECESSARY TO PROVIDE FOR PROPER INSTALLATION OF NEW WORK AND NEW FINISHES.
2. FIT WORK TIGHT TO ADJACENT ELEMENTS. MAINTAIN INTEGRITY OF WALL, CEILING, OR FLOOR CONSTRUCTION. COMPLETELY SEAL VOIDS.
3. WHERE REMOVAL OF AN ELEMENT RESULTS IN ADJACENT SPACES BECOMING ONE, REWORK FLOORS, WALLS AND CEILINGS TO CREATE A SMOOTH PLANE WITHOUT BREAKS, STEPS OR BULKHEADS.
4. WHERE NEW WORK ABUTS OR ALIGNS WITH EXISTING, MAKE A SMOOTH AND EVEN TRANSITION. PATCH WORK SHALL MATCH EXISTING ADJACENT WORK IN TEXTURE AND APPEARANCE. WHERE FINISH SURFACES ARE CUT SO THAT A SMOOTH TRANSITION WITH NEW WORK IS NOT POSSIBLE, TERMINATE EXISTING SURFACE ALONG A STRAIGHT LINE AT NATURAL LINE OF DIVISION.

NO.	DESCRIPTION	DATE
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3	FOR BIDS	3/6/2026
2	FINAL DOCUMENT	2/16/2026
1	FOR OWNER REVIEW	2/3/2026

CURWOOD CASTLE RESTORATION AND REPAIRS

CURWOOD CASTLE
 226 Curwood Castle Drive
 Owosso, MI 48867

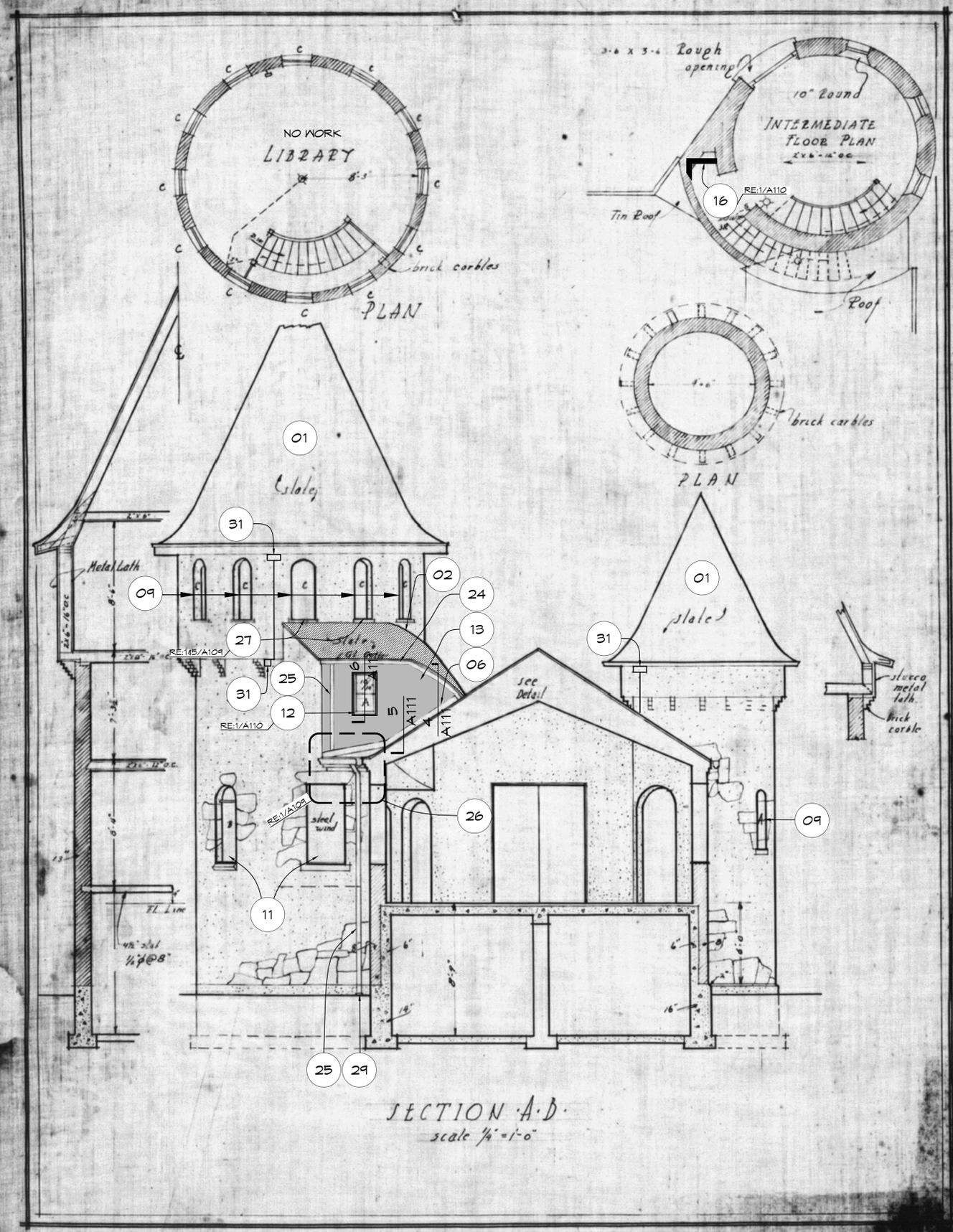
DRAWING TITLE
**STUDIO FLOOR PLAN
 MAIN LEVEL**

PROJECT NO.	25-240
DATE	2/6/2026
DRAWN	CRE
CHECKED	AJN, JSH

A102

CAD FILE NO.	
SCALE	1/4" = 1'-0"
SHEET	4 OF 13

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 PLOT DATE: 2/16/2026 4:31 PM



KEY NOTES

1. REPLACE INDIVIDUAL MISSING OR DAMAGED SLATES
2. REPLACE SLATE ROOF AND UNDERLAYMENT, EXTEND ROOF/SLATE OVERHANG RE: 3, 2 & 4 / A111
6. REPLACE COPPER FLASHING, INCLUDE SUB FLASHING, AND COUNTER FLASHING
4. PREP AND PAINT WOOD WINDOWS
11. PREP AND PAINT METAL WINDOWS
12. REMOVE AND RECONSTRUCT WOOD WINDOW, SALVAGE AND RESTORE WOOD SASH RE: 6/A111
13. REMOVE AND REPLACE STUCCO AND INSPECT SUBSTRATE. NOTIFY ARCHITECT OF CONDITION.
16. REMOVE AND REPLACE DETERIORATED PLASTER BACK TO STABLE MATERIAL - MASONRY WALL
24. NEW COPPER GUTTER
25. NEW DOWNSPOUT
26. INSPECT METAL PAN ROOFING AND FLASHING, CLEAN AND REMOVE ELASTOMERIC JOINT TREATMENTS, PREP AND RE-SOLDER SEAMS/JOINTS IN THIS AREA, REPLACE ALL SEALANTS BETWEEN DISSIMILAR MATERIALS IN THIS AREA
27. PROVIDE AND INSTALL COPPER FLASHING ALONG TRANSITION OF ROOF TO WALL WITH BIB UNDER WINDOW SILLS - CURVED WALLS
29. EXTEND UNDERGROUND DOWNSPOUT RECEPTOR SYSTEM TO INCLUDE NEW DOWNSPOUT
31. PROVIDE 20A 125V OUTDOOR WEATHER PROOF RECEPTACLE WITH WHILE IN USE BOX COVER BY (LEGRAND, HUBBELL) OR EQUAL. RECEPTACLE SHALL BE INSTALLED IN A SURFACE WEATHER PROOF SINGLE GANG BOX. NEW RECEPTACLE SHALL BE CONNECTED DOWN TO EXISTING PANEL IN 1/2" RIGID CONDUIT. RUN 2#12#1#12 GND. UPDATE PANEL SCHEDULE. REFER TO SOUTH ELEVATION - A105



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3	FOR BIDS	3/6/2026
2	FINAL DOCUMENT	2/16/2026
1	FOR OWNER REVIEW	2/3/2026

CURWOOD CASTLE RESTORATION AND REPAIRS

CURWOOD CASTLE
 226 Curwood Castle Drive
 Owosso, MI 48867

DRAWING TITLE
SECTIONS AND UPPER PLAN

PROJECT NO.	25-240
DATE	2/6/2026
DRAWN	CRE
CHECKED	AJN, JSH

A103

CAD FILE NO.	
SCALE	1/4" = 1'-0"
SHEET	5 OF 13

A103 UPPER TOWER LEVELS AND SECTIONS
 1/4" = 1'-0"

KEY NOTES

1. REPLACE INDIVIDUAL MISSING OR DAMAGED SLATES
2. REPLACE SLATE ROOF AND UNDERLAYMENT, EXTEND ROOF/SLATE OVERHANG RE: 4/A111
3. REPLACE COPPER GUTTER
5. REMOVE EXTENSION CORD AND INSTALL NEW EXTERIOR WEATHERPROOF ELECTRICAL RECEPTACLE
6. REPLACE COPPER FLASHING, INCLUDE SUB-FLASHING, AND COUNTER FLASHING
7. REPLACE DETERIORATED PARING/STUCCO AT BASE OF BUILDING INCLUDING PAINTING
4. PREP AND PAINT WOOD WINDOWS
11. PREP AND PAINT METAL WINDOWS
13. REMOVE AND REPLACE STUCCO AND INSPECT SUBSTRATE. NOTIFY ARCHITECT OF CONDITION.
27. PROVIDE AND INSTALL COPPER FLASHING ALONG TRANSITION OF ROOF TO WALL WITH BIB UNDER WINDOW SILLS - CURVED WALLS RE: 3/A111 & 1/A109
31. PROVIDE 20A 125V OUTDOOR WEATHER PROOF RECEPTACLE WITH WHILE IN USE BOX COVER BY (LEGRAND, HUBBELL) OR EQUAL. RECEPTACLE SHALL BE INSTALLED IN A SURFACE WEATHER PROOF SINGLE GANG BOX. NEW RECEPTACLE SHALL BE CONNECTED DOWN TO EXISTING PANEL IN 1/2" RIGID CONDUIT. RUN 2#12@1#12 GND. UPDATE PANEL SCHEDULE. REFER TO SOUTH ELEVATION - A105
32. LOCATION OF EXISTING OUTDOOR ELECTRICAL WEATHERPROOF RECEPTACLE. EXISTING TO REMAIN.



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GENERAL NOTES

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NO.	DESCRIPTION	DATE
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3	FOR BIDS	3/6/2026
2	FINAL DOCUMENT	2/16/2026
1	FOR OWNER REVIEW	2/3/2026

CURWOOD CASTLE RESTORATION AND REPAIRS

CURWOOD CASTLE

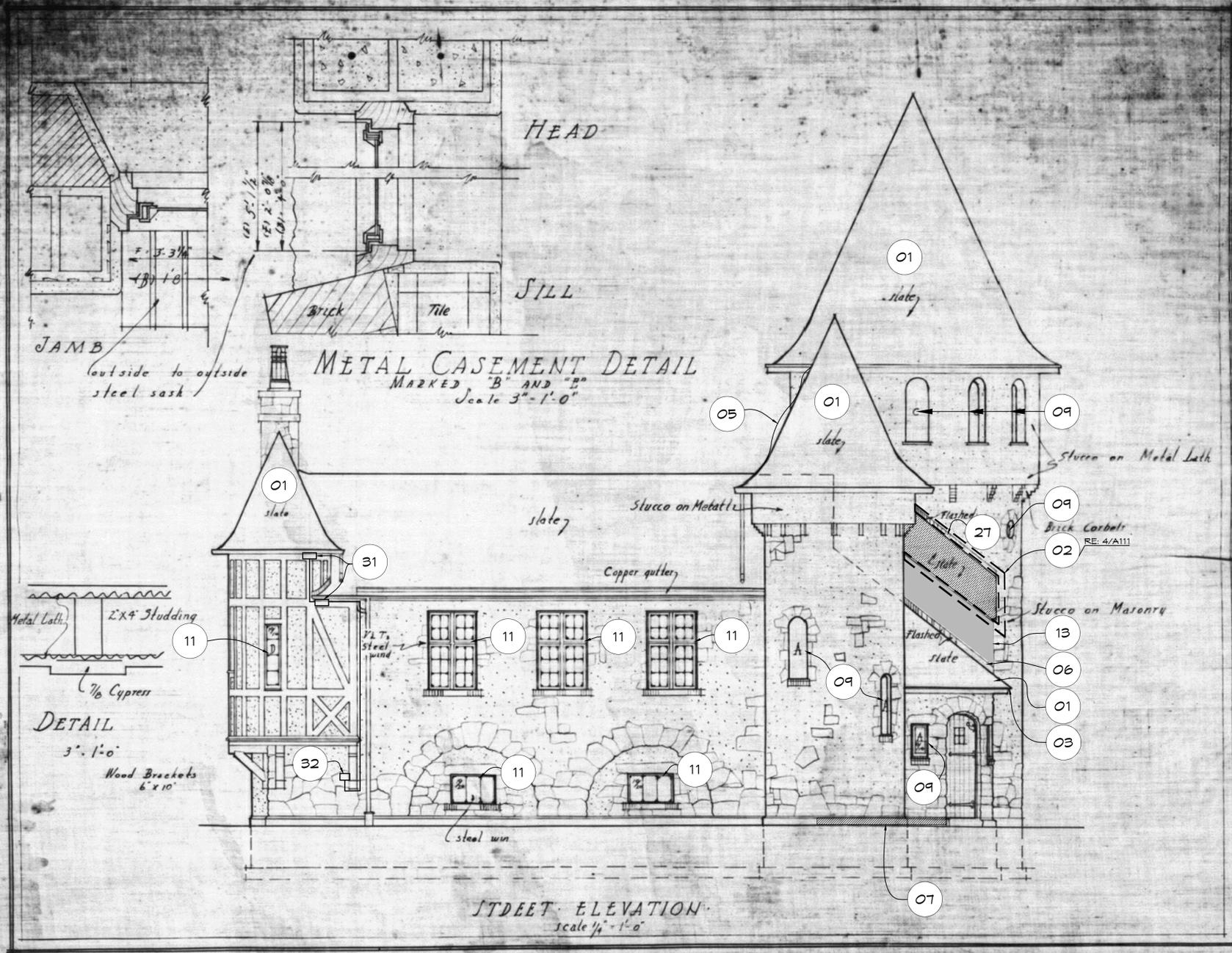
226 Curwood Castle Drive
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DRAWING TITLE
WEST ELEVATION

PROJECT NO.	25-240
DATE	2/6/2026
DRAWN	CRE
CHECKED	AJN, JSH

A104

CAD FILE NO.	
SCALE	1/4" = 1'-0"
SHEET	6 OF 13



ORIGINAL 1923 DRAWING

A104 STREET ELEVATION
WEST
 1/4" = 1'-0"

PAINTING SCOPE:
 BASE BID:
 PAINT EFFECTED AREAS
 ALT #1:
 PAINT ALL PREVIOUSLY PAINTED SURFACES

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KEY NOTES

1. REPLACE INDIVIDUAL MISSING OR DAMAGED SLATES
2. REPLACE SLATE ROOF AND UNDERLAYMENT, EXTEND ROOF/SLATE OVERHANG RE: 4/A111
3. REPLACE COPPER GUTTER
4. REPLACE DOWNSPOUT
5. REMOVE EXTENSION CORD AND INSTALL NEW EXTERIOR WEATHERPROOF ELECTRICAL RECEPTACLE. SEE ITEM 31
6. REPLACE COPPER FLASHING, INCLUDE SUB-FLASHING, AND COUNTER FLASHING RE: 5/A111
7. REPLACE DETERIORATED PARING/STUCCO AT BASE OF BUILDING INCLUDING PAINTING
9. PREP AND PAINT WOOD WINDOWS
11. PREP AND PAINT METAL WINDOWS
13. REMOVE AND REPLACE STUCCO AND INSPECT SUBSTRATE. NOTIFY ARCHITECT OF CONDITION.
27. PROVIDE AND INSTALL COPPER FLASHING ALONG TRANSITION OF ROOF TO WALL WITH BIB UNDER WINDOW SILLS - CURVED WALLS RE: 3/A111 & 1/A109
31. PROVIDE 20A 125V OUTDOOR WEATHER PROOF RECEPTACLE WITH WHILE IN USE BOX COVER BY (LEGRAND, HUBBELL) OR EQUAL. RECEPTACLE SHALL BE INSTALLED IN A SURFACE WEATHER PROOF SINGLE GANG BOX. NEW RECEPTACLE SHALL BE CONNECTED DOWN TO EXISTING PANEL IN 1/2" RIGID CONDUIT. RUN 2#12&1#12 GND. UPDATE PANEL SCHEDULE. REFER TO SOUTH ELEVATION - A105

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GENERAL NOTES

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2	FINAL DOCUMENT	2/16/2026
1	FOR OWNER REVIEW	2/3/2026

CURWOOD CASTLE RESTORATION AND REPAIRS

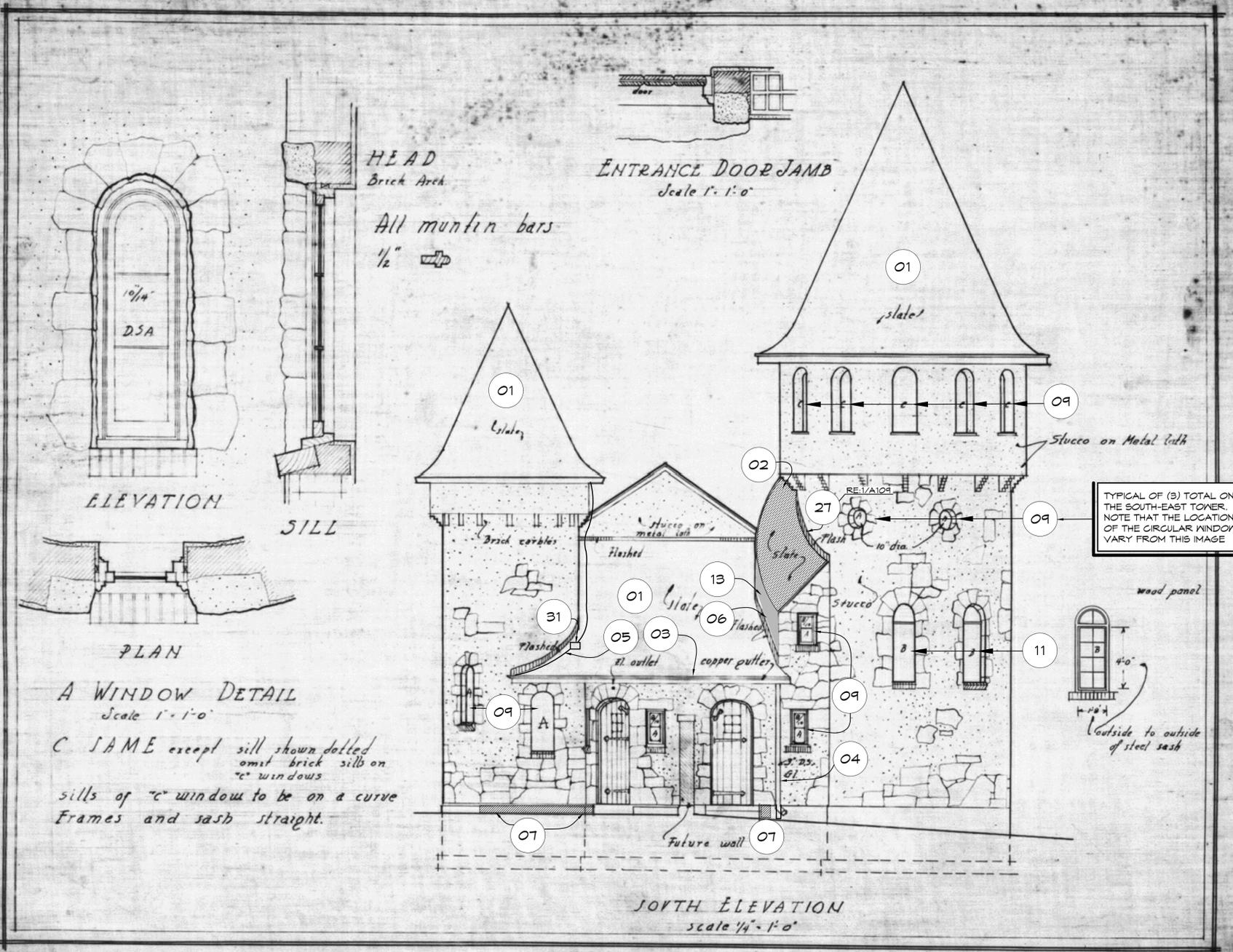
CURWOOD CASTLE
226 Curwood Castle Drive
Owosso, MI 48867

DRAWING TITLE
SOUTH ELEVATION AND DETAILS

PROJECT NO. 25-240
DATE 2/6/2026
DRAWN CRE
CHECKED AJN, JSH

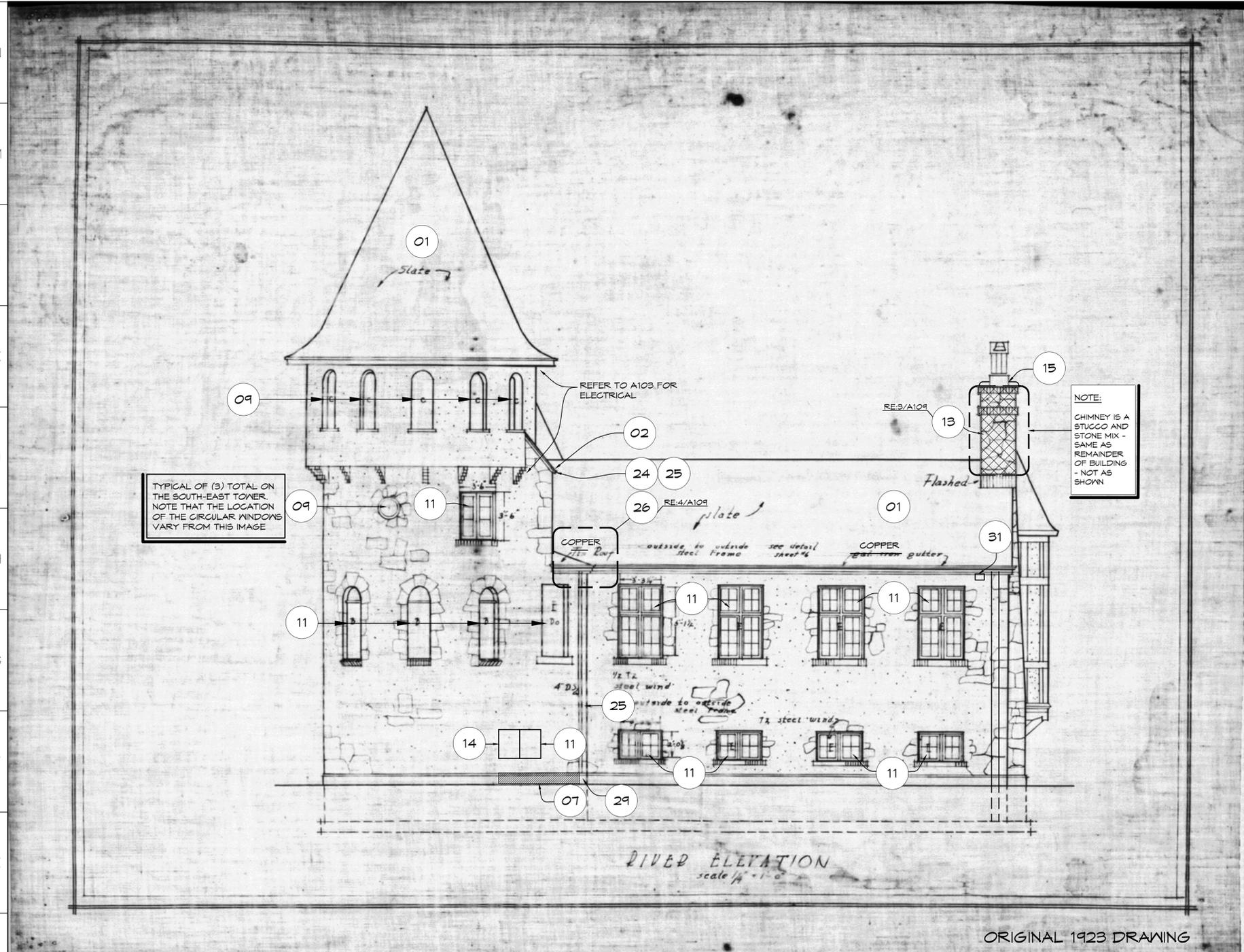
A105

CAD FILE NO.
SCALE 1/4" = 1'-0" SHEET 7 OF 13



A105 ELEVATION AND DETAILS
SOUTH
1/4" = 1'-0"

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 PLOT DATE: 2/16/2026 4:35 PM



A106 RIVER ELEVATION EAST
 1/4" = 1'-0"

KEY NOTES

1. REPLACE INDIVIDUAL MISSING OR DAMAGED SLATES
2. REPLACE SLATE ROOF AND UNDERLAYMENT, EXTEND ROOF/SLATE OVERHANG RE: 4/A111
7. REPLACE DETERIORATED PARPING AT BASE OF BUILDING INCLUDING PAINTING
9. PREP AND PAINT WOOD WINDOWS
11. PREP AND PAINT METAL WINDOWS
13. REMOVE AND REPLACE STUCCO AND INSPECT SUBSTRATE. NOTIFY ARCHITECT OF CONDITION.
14. PREP AND PAINT WINDOW GRATE
15. REPOINT FINE HAIRLINE CRACKS IN CEMENT CHIMNEY GAP
24. NEW COPPER GUTTER
25. NEW DOWNSPOUT
26. INSPECT METAL PAN ROOFING AND FLASHING, CLEAN AND REMOVE ELASTOMERIC JOINT TREATMENTS, PREP AND RE-SOLDER SEAMS/JOINTS IN THIS AREA. REPLACE ALL SEALANTS BETWEEN DISSIMILAR MATERIALS IN THIS AREA RE: 4/A104
29. EXTEND UNDERGROUND DOWNSPOUT RECEPTOR SYSTEM TO INCLUDE NEW DOWNSPOUT
31. PROVIDE 20A 125V OUTDOOR WEATHER PROOF RECEPTACLE WITH WHILE IN USE BOX COVER BY (LEGRAND, HUBBELL) OR EQUAL. RECEPTACLE SHALL BE INSTALLED IN A SURFACE WEATHER PROOF SINGLE GANG BOX. NEW RECEPTACLE SHALL BE CONNECTED DOWN TO EXISTING PANEL IN 1/2" RIGID CONDUIT. RUN 2#12#1#12 GND. UPDATE PANEL SCHEDULE. REFER TO SOUTH ELEVATION - A105



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GENERAL NOTES

1. PREPARE FOR NEW WORK BY REMOVING EXISTING SURFACE FINISHES, AS NECESSARY TO PROVIDE FOR PROPER INSTALLATION OF NEW WORK AND NEW FINISHES.
2. FIT WORK TIGHT TO ADJACENT ELEMENTS. MAINTAIN INTEGRITY OF WALL, CEILING, OR FLOOR CONSTRUCTION, COMPLETELY SEAL VOIDS.
3. WHERE REMOVAL OF AN ELEMENT RESULTS IN ADJACENT SPACES BECOMING ONE, REWORK FLOORS, WALLS AND CEILINGS TO CREATE A SMOOTH PLANE WITHOUT BREAKS, STEPS OR BULKHEADS.
4. WHERE NEW WORK ABUTS OR ALIGNS WITH EXISTING, MAKE A SMOOTH AND EVEN TRANSITION. PATCH WORK SHALL MATCH EXISTING ADJACENT WORK IN TEXTURE AND APPEARANCE. WHERE FINISH SURFACES ARE CUT SO THAT A SMOOTH TRANSITION WITH NEW WORK IS NOT POSSIBLE, TERMINATE EXISTING SURFACE ALONG A STRAIGHT LINE AT NATURAL LINE OF DIVISION.

NO.	DESCRIPTION	DATE
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3	FOR BIDS	3/6/2026
2	FINAL DOCUMENT	2/16/2026
1	FOR OWNER REVIEW	2/3/2026

CURWOOD CASTLE RESTORATION AND REPAIRS

CURWOOD CASTLE

226 Curwood Castle Drive
 Owosso, MI 48867

DRAWING TITLE
RIVER ELEVATION EAST

PROJECT NO.	25-240
DATE	2/6/2026
DRAWN	CRE
CHECKED	AJN, JSH

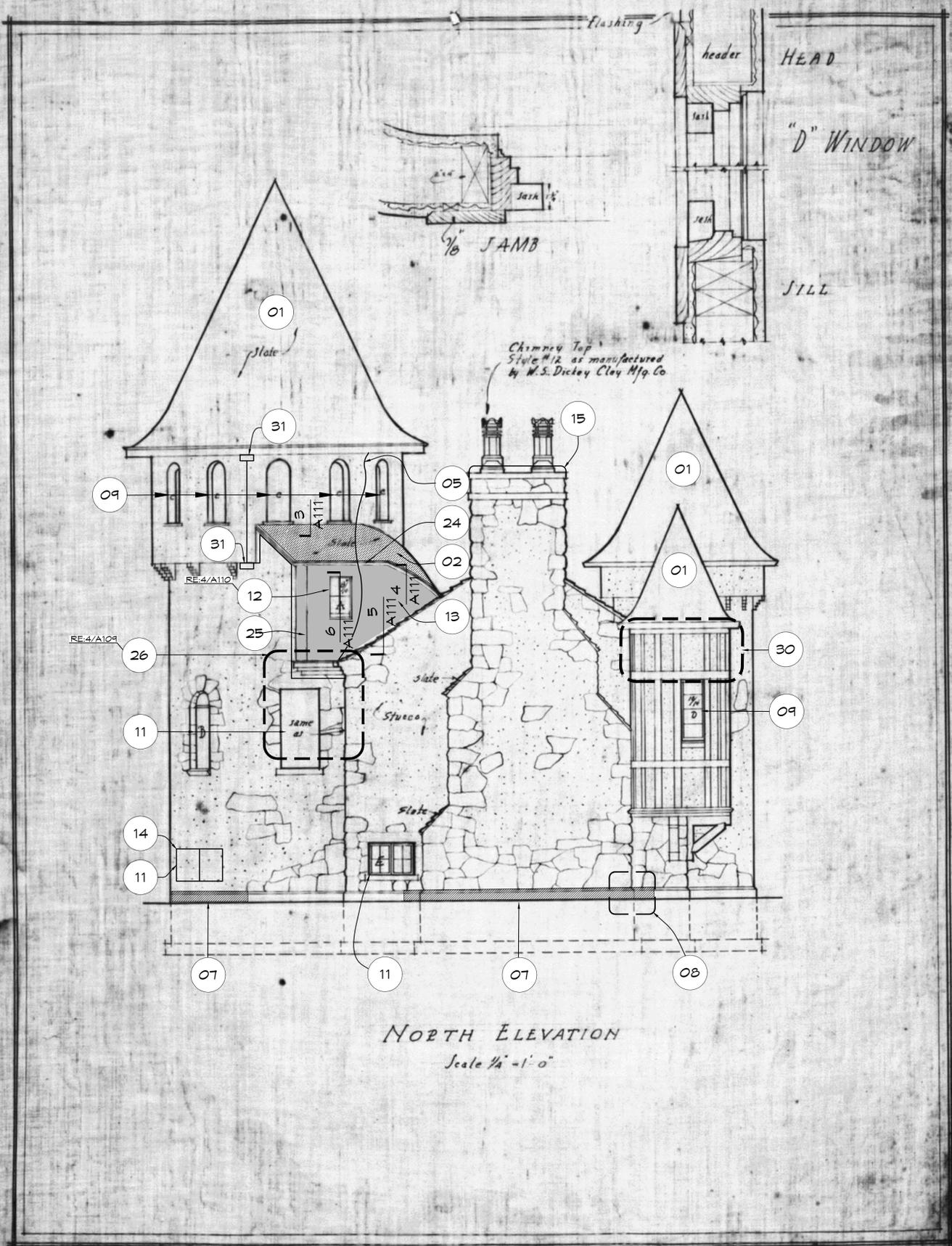
A106

CAD FILE NO.	
SCALE	1/4" = 1'-0"
SHEET	8 OF 13

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PLOT DATE: 2/16/2026 4:36 PM



ORIGINAL 1923 DRAWING

A107 | NORTH ELEVATION
1/4" = 1'-0"

KEY NOTES

1. REPLACE INDIVIDUAL MISSING OR DAMAGED SLATES
2. REPLACE SLATE ROOF AND UNDERLAYMENT, EXTEND ROOF/SLATE OVERHANG RE:
5. REMOVE EXTENSION CORD AND INSTALL NEW EXTERIOR WEATHERPROOF ELECTRICAL RECEPTACLE. REFER TO NOTE 31
7. REPLACE DETERIORATED PARGING AT BASE OF BUILDING INCLUDING PAINTING
8. FILL VERMIN HOLES AROUND FOUNDATION INCLUDE BURIED WIRE DETERRENT
9. PREP AND PAINT WOOD WINDOWS
11. PREP AND PAINT METAL WINDOWS
12. REMOVE AND RECONSTRUCT WOOD WINDOW, SALVAGE AND RESTORE WOOD SASH RE: 6/A111
13. REMOVE AND REPLACE STUCCO AND INSPECT SUBSTRATE. NOTIFY ARCHITECT OF CONDITION.
14. PREP AND PAINT WINDOW GRATE
24. NEW COPPER GUTTER
25. NEW DOWNSPOUT
26. INSPECT METAL PAN ROOFING AND FLASHING. CLEAN AND REMOVE ELASTOMERIC JOINT TREATMENTS, PREP AND RE-SOLDER SEAMS/JOINTS IN THIS AREA. REPLACE ALL SEALANTS BETWEEN DISSIMILAR MATERIALS IN THIS AREA RE: 4/A109
30. REPAIR DAMAGE TO EIFS RE: SPEC 6002 AND 2/A110
31. PROVIDE 20A 125V OUTDOOR WEATHER PROOF RECEPTACLE WITH WHILE IN USE BOX COVER BY (LEGRAND, HUBBELL) OR EQUAL. RECEPTACLE SHALL BE INSTALLED IN A SURFACE WEATHER PROOF SINGLE GANG BOX. NEW RECEPTACLE SHALL BE CONNECTED DOWN TO EXISTING PANEL IN 1/2" RIGID CONDUIT. RUN 2#12#112 GND. UPDATE PANEL SCHEDULE. REFER TO SOUTH ELEVATION - A105



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CURWOOD CASTLE RESTORATION AND REPAIRS

CURWOOD CASTLE
226 Curwood Castle Drive
Owosso, MI 48867

DRAWING TITLE
NORTH ELEVATION

PROJECT NO.	25-240
DATE	2/6/2026
DRAWN	CRE
CHECKED	AJN, JSH

A107

CAD FILE NO.	
SCALE	1/4" = 1'-0"
SHEET	9 OF 13

GENERAL NOTES

NO.	DESCRIPTION	DATE
6		
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3	FOR BIDS	3/6/2026
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1	FOR OWNER REVIEW	2/3/2026

CURWOOD CASTLE RESTORATION AND REPAIRS

CURWOOD CASTLE

226 Curwood Castle Drive
Owosso, MI 48867

DRAWING TITLE

HALF SECTION

PROJECT NO.

25-240

DATE

2/6/2026

DRAWN

CRE

CHECKED

AJN, JSH

A108

CAD FILE NO.

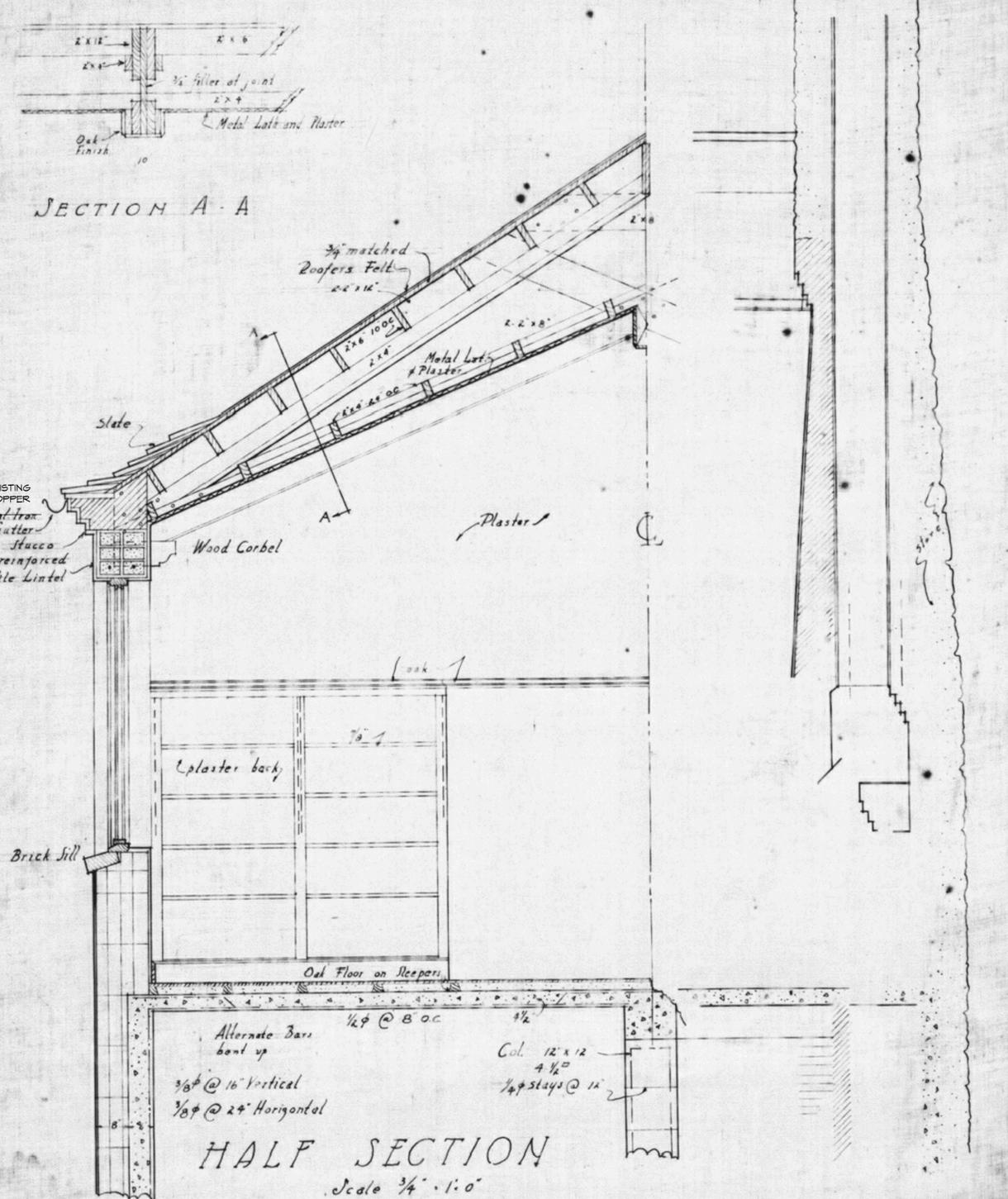
SCALE

1/4" = 1'-0"

SHEET

10 OF 13

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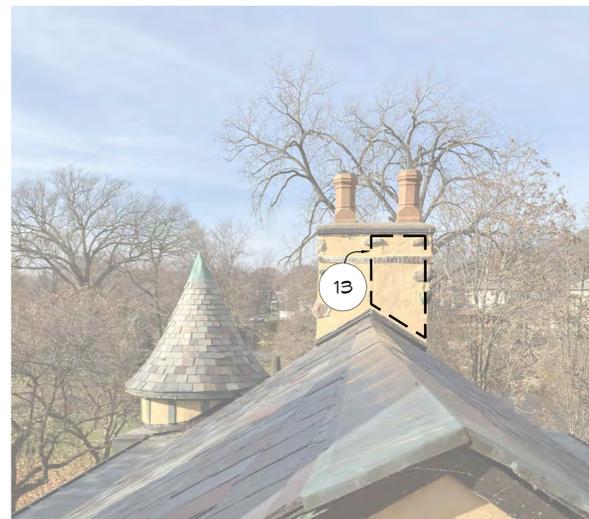


HALF SECTION
Scale 3/4" = 1'-0"

ORIGINAL 1923 DRAWING

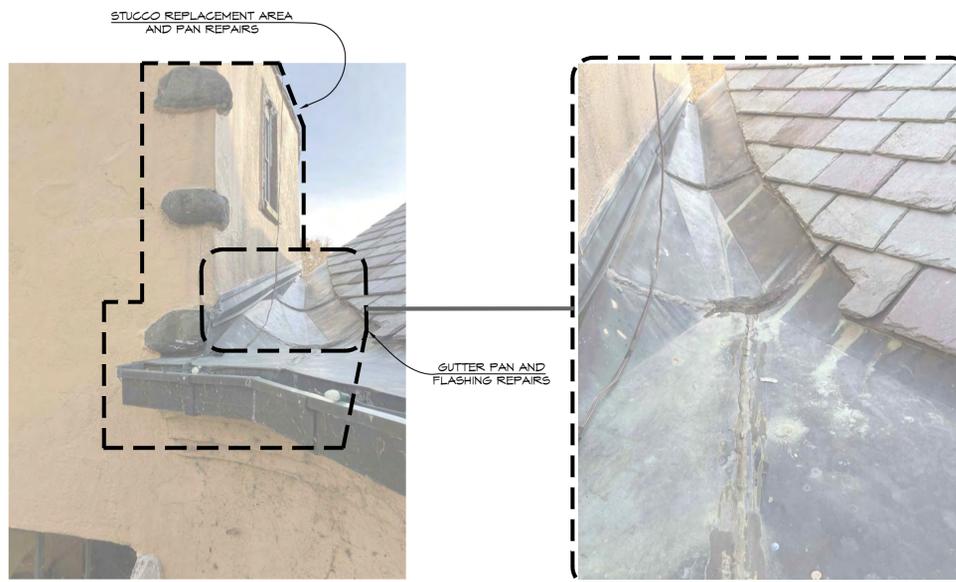
A108 HALF SECTION
1/4" = 1'-0"

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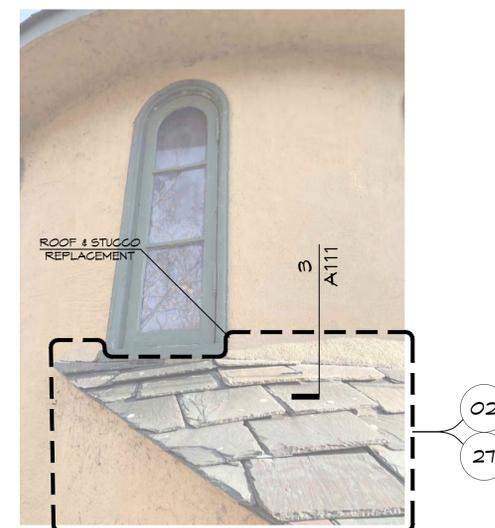
3 | **STUCCO CHIMNEY REPAIRS**

NO SCALE | IMAGE 4002



4 | **STUCCO REPLACEMENT, WINDOW RESTORATION & PAN GUTTER SEAMS REPAIRS**

NO SCALE | IMAGE 4022



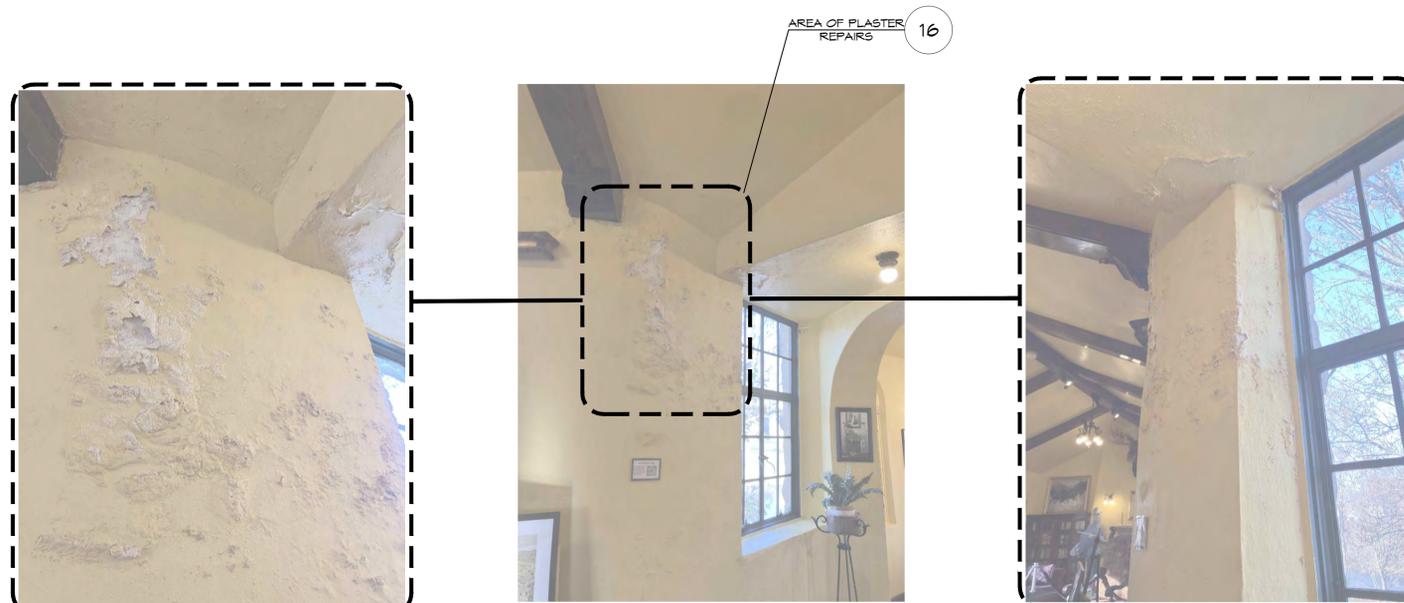
5 | **ROOF & FLASHING REPLACEMENT**

NO SCALE | IMAGE 4026



1 | **ROOF & FLASHING REPLACEMENT**

NO SCALE | IMAGE 4027



2 | **INTERIOR PLASTER REPAIRS**

NO SCALE | IMAGE 4035



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6		
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2	FINAL DOCUMENT	2/16/2026
1	FOR OWNER REVIEW	2/3/2026

CURWOOD CASTLE RESTORATION AND REPAIRS

CURWOOD CASTLE
 226 Curwood Castle Drive
 Owosso, MI 48867

DRAWING TITLE
REFERENCE IMAGES

PROJECT NO.	25-240
DATE	2/6/2026
DRAWN	CRE
CHECKED	AJN, JSH

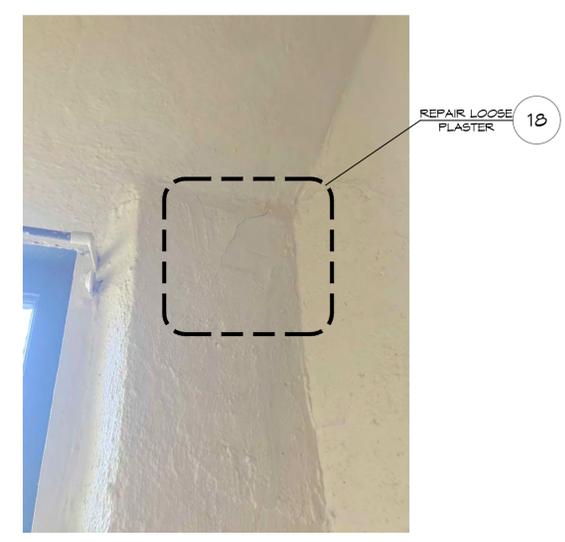
A109

CAD FILE NO.	
SCALE	1/4" = 1' 0"
SHEET	11 OF 13

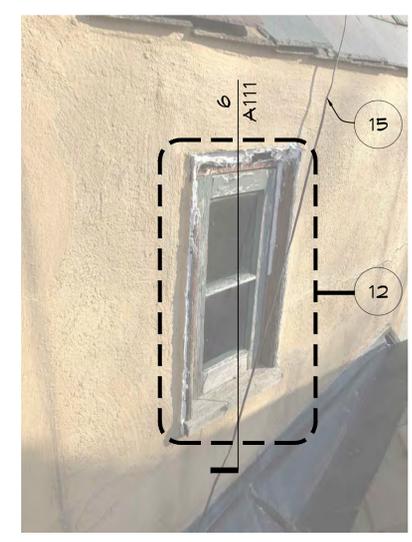
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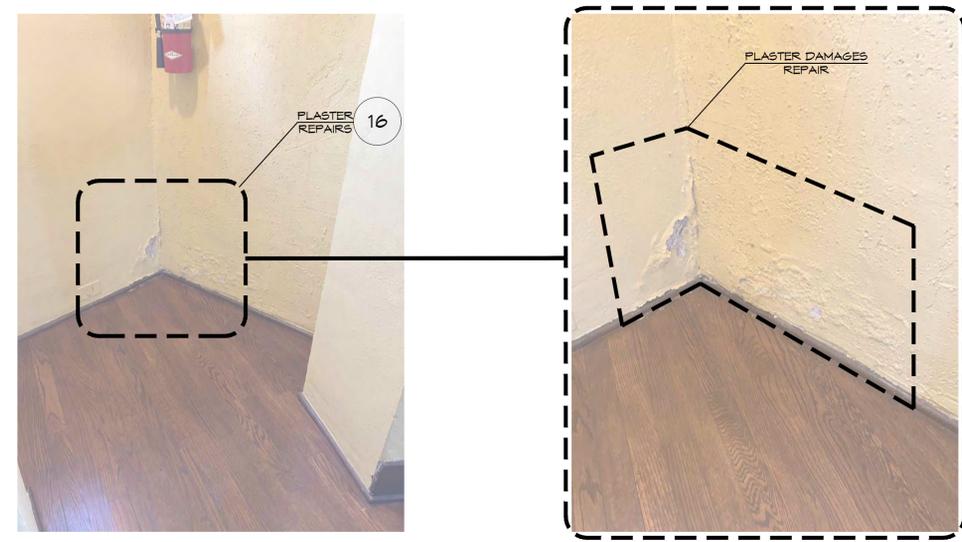
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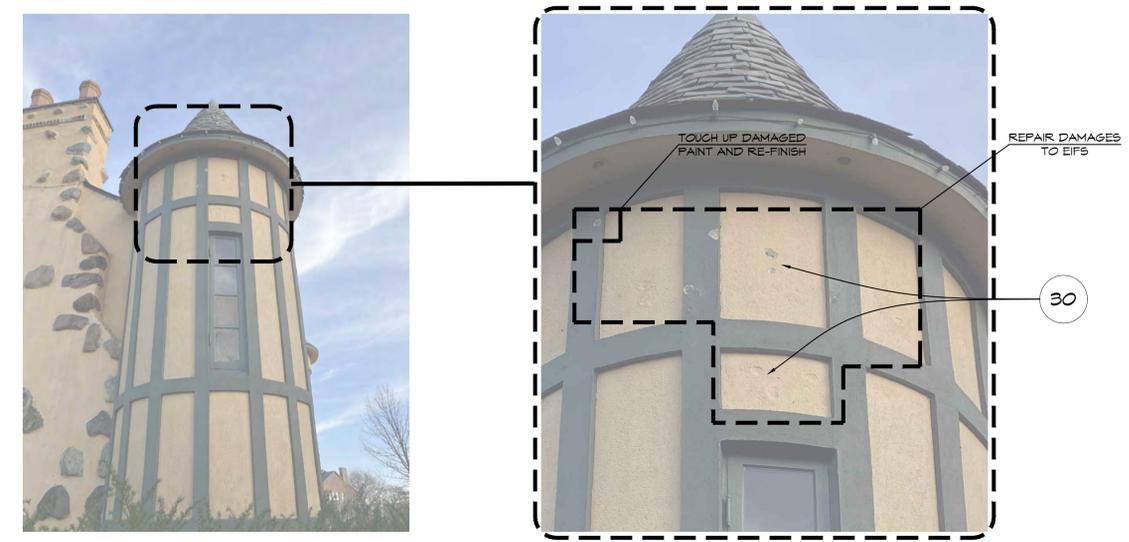
3 | INTERIOR PLASTER DAMAGES/REPAIRS
 NO SCALE | IMAGE 4055



4 | WINDOW RESTORATION
 NO SCALE | IMAGE 4030



1 | INTERIOR PLASTER DAMAGES/REPAIRS
 NO SCALE | IMAGE 4039



2 | NORTH-WEST TURRET EIFS DAMAGES/REPAIRS
 NO SCALE | IMAGE 4070

NO.	DESCRIPTION	DATE
6		
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3	FOR BIDS	3/6/2026
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1	FOR OWNER REVIEW	2/3/2026

CURWOOD CASTLE RESTORATION AND REPAIRS
CURWOOD CASTLE
 226 Curwood Castle Drive
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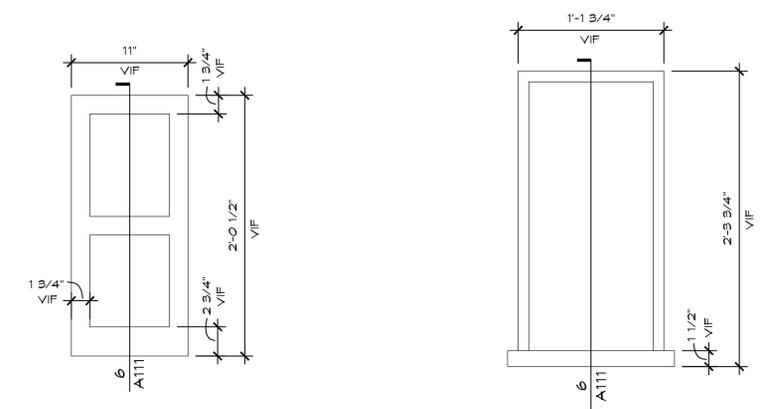
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REFERENCE IMAGES

PROJECT NO.	25-240
DATE	2/6/2026
DRAWN	CRE
CHECKED	AJN, JSH

A110

CAD FILE NO.	
SCALE	1/4" = 1' 0"
SHEET	12 OF 13

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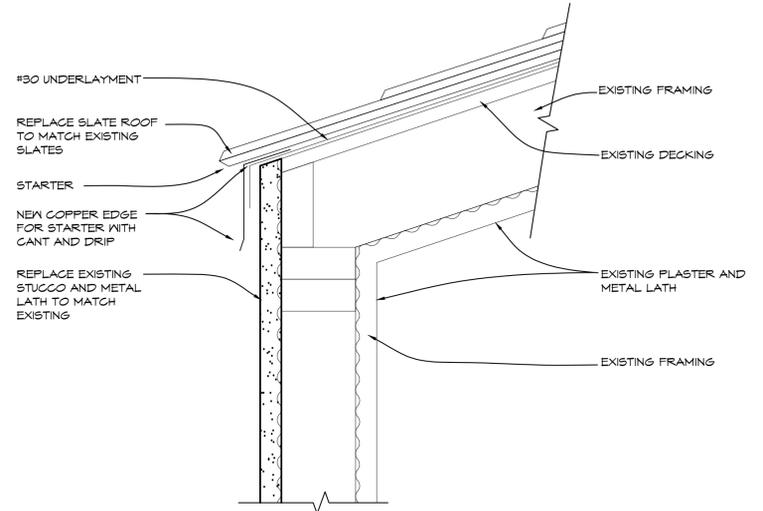


1 WINDOW SASH ELEVATION
 1-1/2" = 1'-0"

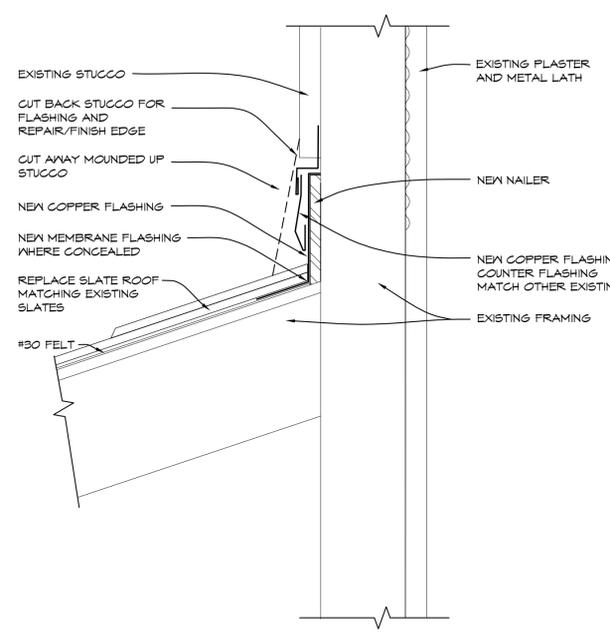
2 WINDOW FRAME ELEVATION
 1-1/2" = 1'-0"

PANEL NAME: Panel A		MAIN: 100A		L-L VOLTAGE: 240											
LOCATION: Boiler Rm West wall		BUSSING: 100A		L-N VOLTAGE: 120											
SOURCE: Power Co.		GROUND BUS: STANDARD		PHASE: 1											
FEEDER SIZE: Existing		MOUNTING: SURFACE		WIRE: 3											
		NEUTRAL: 100%		MIN SC INTERRUPT RATING: 10kA											
LOAD DESCRIPTION	LIGHTING LOAD	RECEPTACLE LOAD	CONTINUOUS LOAD	NON-CONTINUOUS LOAD	OCFPD	CKT	L1	L2	CKT	OCFPD	NON-CONTINUOUS LOAD	CONTINUOUS LOAD	RECEPTACLE LOAD	LIGHTING LOAD	LOAD DESCRIPTION
EXISTING CIRCUIT		360				30	1		2	15	696				BOILER
EXISTING CIRCUIT		360				30	3		4	20			540		EXISTING CIRCUIT
EXISTING CIRCUIT		360				30	5		6	15				600	EXISTING CIRCUIT
WATER HEATER				1500		30	7		8	20				800	EXISTING CIRCUIT
KITCHEN		1500				30	9		10	15			540		EXISTING CIRCUIT
OUTDOOR NW TURRET		540				20	11		12	20			360		EXISTING CIRCUIT
OUTDOOR SW TURRET		360				20	13		14	15			300		EXISTING CIRCUIT
OUTDOOR SOUTHEAST TURRET		360				20	15		16	15			720		EXISTING CIRCUIT
EXISTING CIRCUIT		540				15	17		18	20			360		EXISTING CIRCUIT
EXISTING CIRCUIT		540				15	19		20	30	2000				AC
EXISTING CIRCUIT		540				15	21		22	30	2000				AC
SPACE							23		24	30				600	EXTERIOR LIGHTS
SPACE							25		26	20				800	EXTERIOR LIGHTS
SPACE							27		28	40	2500				STOVE
SPACE							29		30	40	2500				STOVE
CONNECTED LOAD		DEMAND FACTOR			DEMAND LOAD										
LOAD TYPE	L1	L2	TOTAL	L1	L2	TOTAL									
LIGHTING LOAD (VA)	1400	1400	2800	1.00	1400	2800									
RECEPTACLE LOAD (VA)	5460	3420	8880	1.00 (FIRST 10KVA)	5460	3420									
		Amount over 10kVA	0	0.50 (> 10KVA)	0	0									
CONTINUOUS LOAD (VA)	0	0	0	1.00	0	0									
NON-CONTINUOUS (VA)	5196	6000	11196	0.40	3118	3600									
TOTAL LOAD (KVA)	12.06	10.82	22.88	125% OF LIGHT/CONT AND RECEPT (<10KV A) LOAD PLUS OTHER LOAD	9.98	8.42									
TOTAL AMPACITY (A)	100.5	90.2	95.3	<---- PER NEC ARTICLE 215.2 ---->	83.1	70.2									
MINIMUM FEEDER SIZE (A)	114.8	100.2	107.5		97.4	80.2									

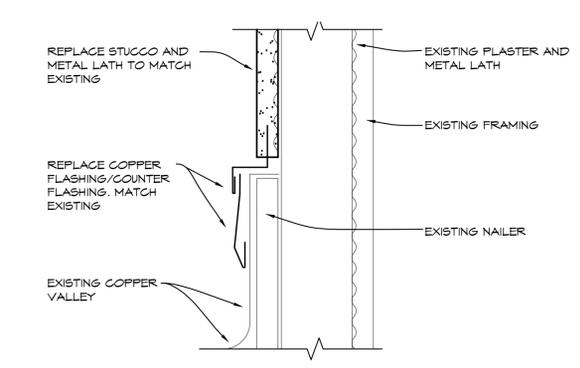
7 PANEL 'A'
 3" = 1'-0"



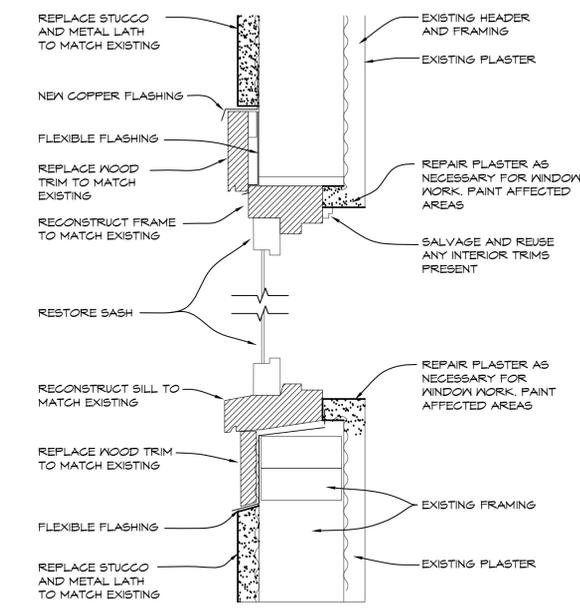
4 ROOF EDGE DETAIL
 3" = 1'-0" AT STAIR CURING AND SLOPING



3 FLASHING DETAIL
 3" = 1'-0" SLOPING AND CURVING



5 FLASHING WALL TO ROOF DETAIL
 3" = 1'-0" SLOPING AND CURVING



6 FLASHING DETAIL
 3" = 1'-0"

NO.	DESCRIPTION	DATE
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3	FOR BIDS	3/6/2026
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CURWOOD CASTLE RESTORATION AND REPAIRS

CURWOOD CASTLE
 226 Curwood Castle Drive
 Owosso, MI 48867

DRAWING TITLE

DETAILS

PROJECT NO. 25-240

DATE 2/6/2026

DRAWN CRE

CHECKED AJM, JSH

A111

CAD FILE NO.

SCALE 1-1/2" = 1'-0" SHEET 13 OF 13